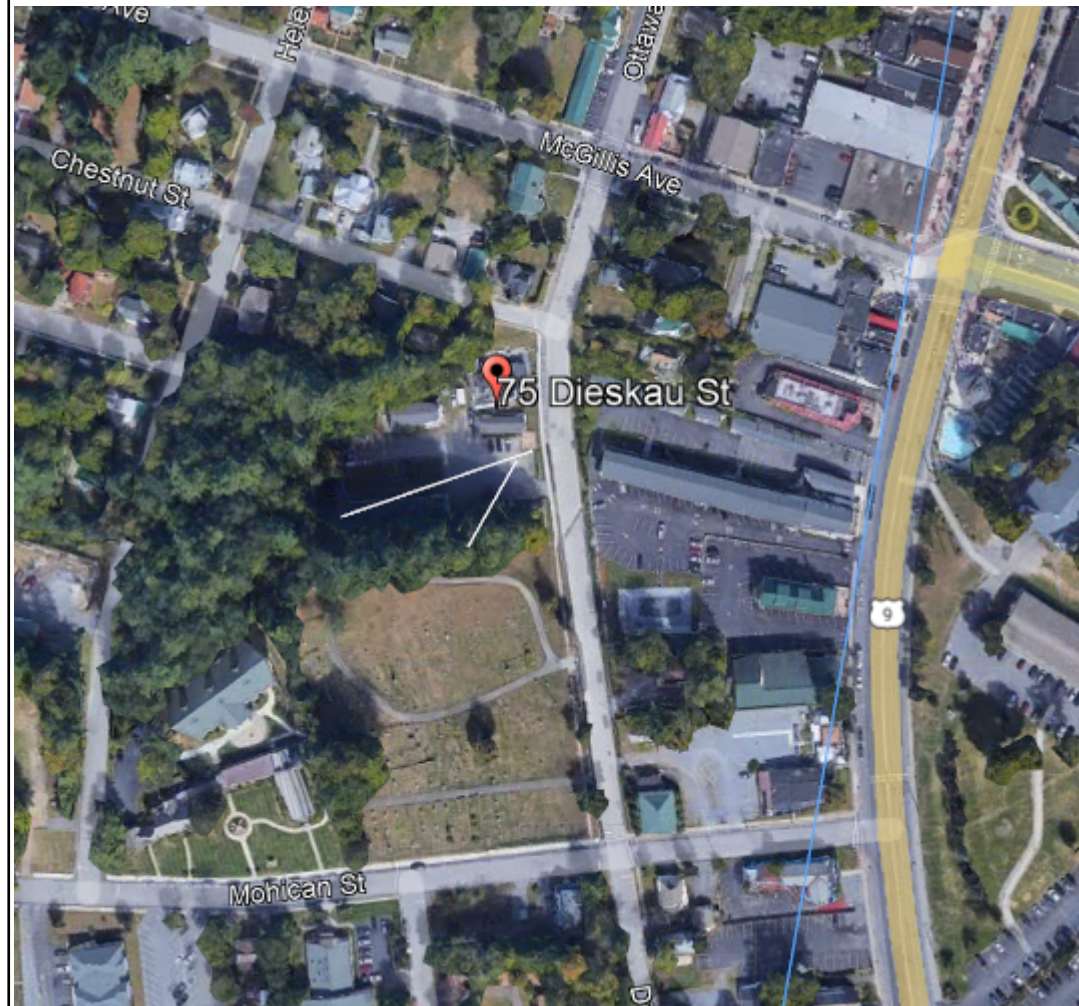


VICINITY MAP



SHEET INDEX

C.01 - SURVEY
C.02 - DEMOLITION PLAN
C.03 - SEDIMENT & EROSION PLAN
C.04 - SITE PLAN
C.05 - STORMWATER MANAGEMENT & GRADING PLAN
C.06 - UTILITIES PLAN
C.07 - LIGHTING PLAN
C.08 - LANDSCAPING PLAN
C.09 - STORMWATER DETAILS
C.10 - DETAILS
C.11 - DETAILS
C.12 - SEWER & BASIN DETAILS
C.13 - DUMPSTER AREA DETAILS

A.01 - GENERAL NOTES
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A.22 - TYPE EX-A EXISTING ADA & SINGLE UNIT
A.23 - EX-A ELEVATIONS
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A.26 - EX-B ELEVATIONS
A.27 - EX-B ELEVATIONS
A.28 - SGL RENDER
A.29 - DBL RENDER
A.30 - FINISHES & LIGHTING

LEGAL DESCRIPTION

ZONING DISTRICT - CMU
SECT-BLK-LOT - 251.18-4-25
LOT AREA - 1.6 ACRES



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units

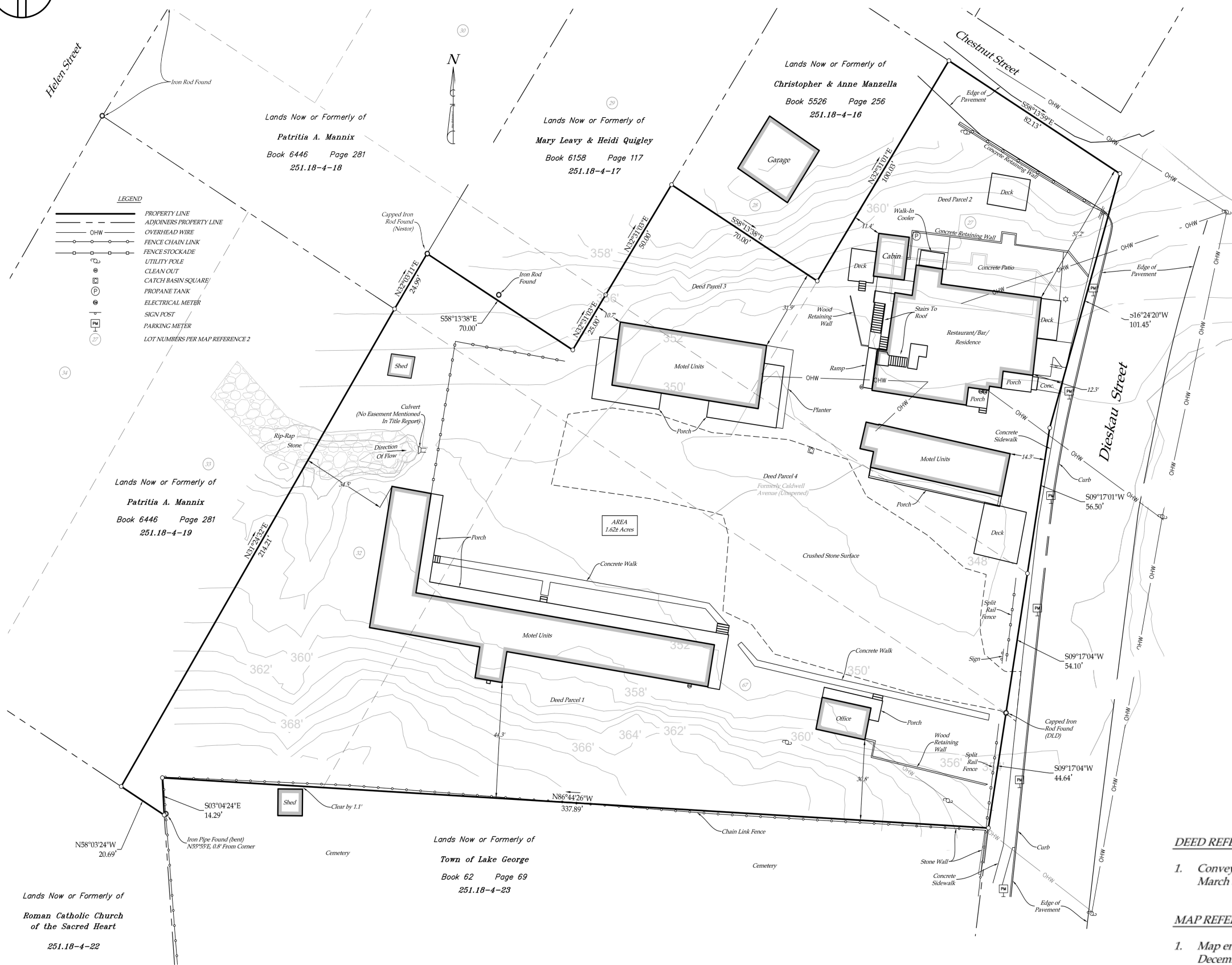
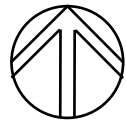
PROJECT NO.
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75 DIESKAU ST

North



- LEGEND**
- PROPERTY LINE
 - ADJOINERS PROPERTY LINE
 - OVERHEAD WIRE
 - FENCE CHAIN LINK
 - FENCE STOCKADE
 - UTILITY POLE
 - CLEAN OUT
 - CATCH BASIN SQUARE
 - PROFANE TANK
 - ELECTRICAL METER
 - SIGN POST
 - PARKING METER
 - LOT NUMBERS PER MAP REFERENCE 2

MAP NOTES

1. Boundary information shown hereon was compiled from map reference #1 an actual field survey conducted on October 13, 2022.
2. North orientation and bearing base per map reference #1.
3. Warren County tax parcel 251.18-4-25.
4. This survey does not constitute a record search by Darrah Land Surveying, PLLC to determine ownership or easements of record. For all information regarding easements, rights of way and title of record the surveyor relied on commitment no. CT22-73264. Prepared by Chicago Title Insurance Company, Certified September 21, 2022.
5. The location of underground improvements or encroachments, if any exist, or as shown hereon, are not certified. There may be other underground utilities, the existence of which are unknown. Size and location of all underground utilities must be verified by the appropriate authorities. The Underground Facilities Protective Organization must be notified prior to conducting test borings, excavation and construction.
6. Certifications on the boundary map signify that the map was prepared in accordance with the existing Code of Practice for Land Surveys adopted by the New York State Association of Professional Land Surveyors, Inc. The certification is limited to persons for whom the boundary survey map is prepared, to the title company, to the governmental agency, and to the lending institution listed on this boundary survey map.
7. The certifications hereon are not transferable.
8. Reproduction or copying of this document may be a violation of copyright law unless permission of the author and / or copyright holder is obtained.
9. A copy of this document without a proper application of the surveyor's embossed seal should be assumed to be an unauthorized copy.
10. Property corner monuments were not placed as a part of this survey unless otherwise noted.

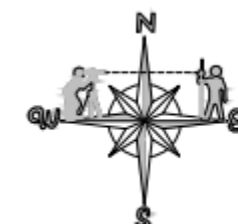
DEED REFERENCE:

1. Conveyance to Woodbine Hotel LLC by deed dated March 31, 2015, filed in the Warren County Clerks Office on March 31, 2015 in Book 5133 of Deeds at page 94.

MAP REFERENCES:

1. Map entitled "Map of a survey of lands of King Neptune, Inc.", prepared by D.L. Dickinson Associates, dated December 15, 1986, last revised March 27, 2015. Darrah Land Surveying, PLLC owns the records of D.L. Dickinson Associates.
2. Map entitled "The Village of Caldwell" prepared by L.B. Black, dated April, 1886, filed in the Warren County Clerk's Office in RSC Folder/227, Instrument #1886-3000004

1 Existing Conditions N.T.S.



Darrah Land Surveying, PLLC
 59 Lake Avenue, Lake Luzerne, New York 12846
 Voice: (518) 798-4692
 or (518) 654-9416

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 Katie & Will Carson
 75 Dieskau St
 Lake George, NY

PROJECT
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 units

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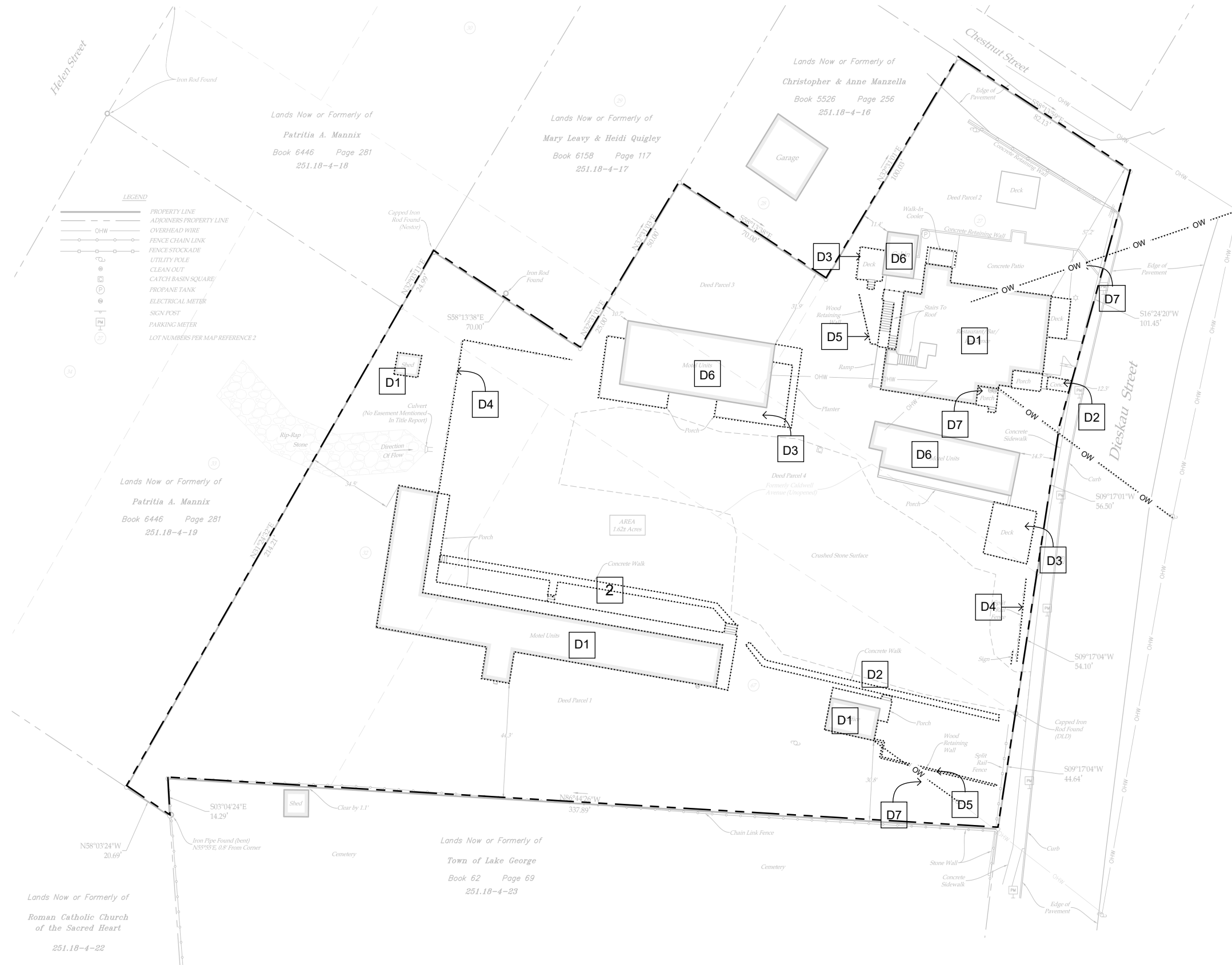
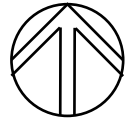
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SURVEY

C.01

North



DEMOLITION NOTES

- D 1. EXISTING STRUCTURE DEMOLITION: ALL EXISTING MOTEL STRUCTURES AND OLD HOUSE CONVERTED TO BAR ARE TO BE COMPLETELY DEMOLISHED AND REMOVED FROM THE SITE, IN COMPLIANCE WITH SECTION 3303 OF THE 2018 IBC.
- D 2. CONCRETE WALK REMOVAL: ALL EXISTING CONCRETE WALKWAYS ARE TO BE REMOVED AND MATERIALS PROPERLY DISPOSED OF, PER LOCAL AND STATE REGULATIONS.
- D 3. DECK REMOVAL: EXISTING DECK STRUCTURE IS TO BE COMPLETELY DEMOLISHED AND REMOVED. DISPOSAL MUST COMPLY WITH SECTION 3303 OF THE 2018 IBC.
- D 4. FENCING AND SIGNAGE REMOVAL: ALL EXISTING FENCING AND SIGNAGE TO BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS.
- D 5. RETAINING WALL REMOVAL: EXISTING RETAINING WALL TO BE DEMOLISHED AND MATERIALS PROPERLY DISPOSED OF, FOLLOWING LOCAL AND STATE GUIDELINES.
- D 6. EXISTING STRUCTURES TO REMAIN: THE TWO EXISTING STRUCTURES WITH APARTMENT-LIKE UNITS AND FOUR SINGLE OCCUPANCY UNITS WILL REMAIN UNTOUCHED DURING DEMOLITION.
- D 7. OVERHEAD WIRE DISCONNECTION: COORDINATE WITH NATIONAL GRID TO DISCONNECT AND TERMINATE ANY OVERHEAD WIRES ATTACHED TO THE STRUCTURE PRIOR TO DEMOLITION. ENSURE ALL PROCEDURES AND SAFETY PROTOCOLS ARE FOLLOWED AS OUTLINED BY THE UTILITY PROVIDER.

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DEMOLITION PLAN

C.02

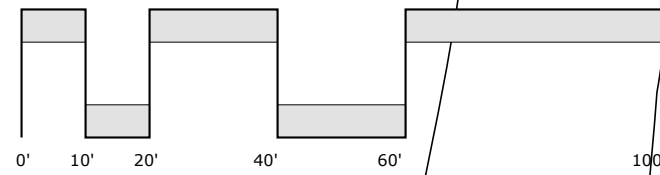
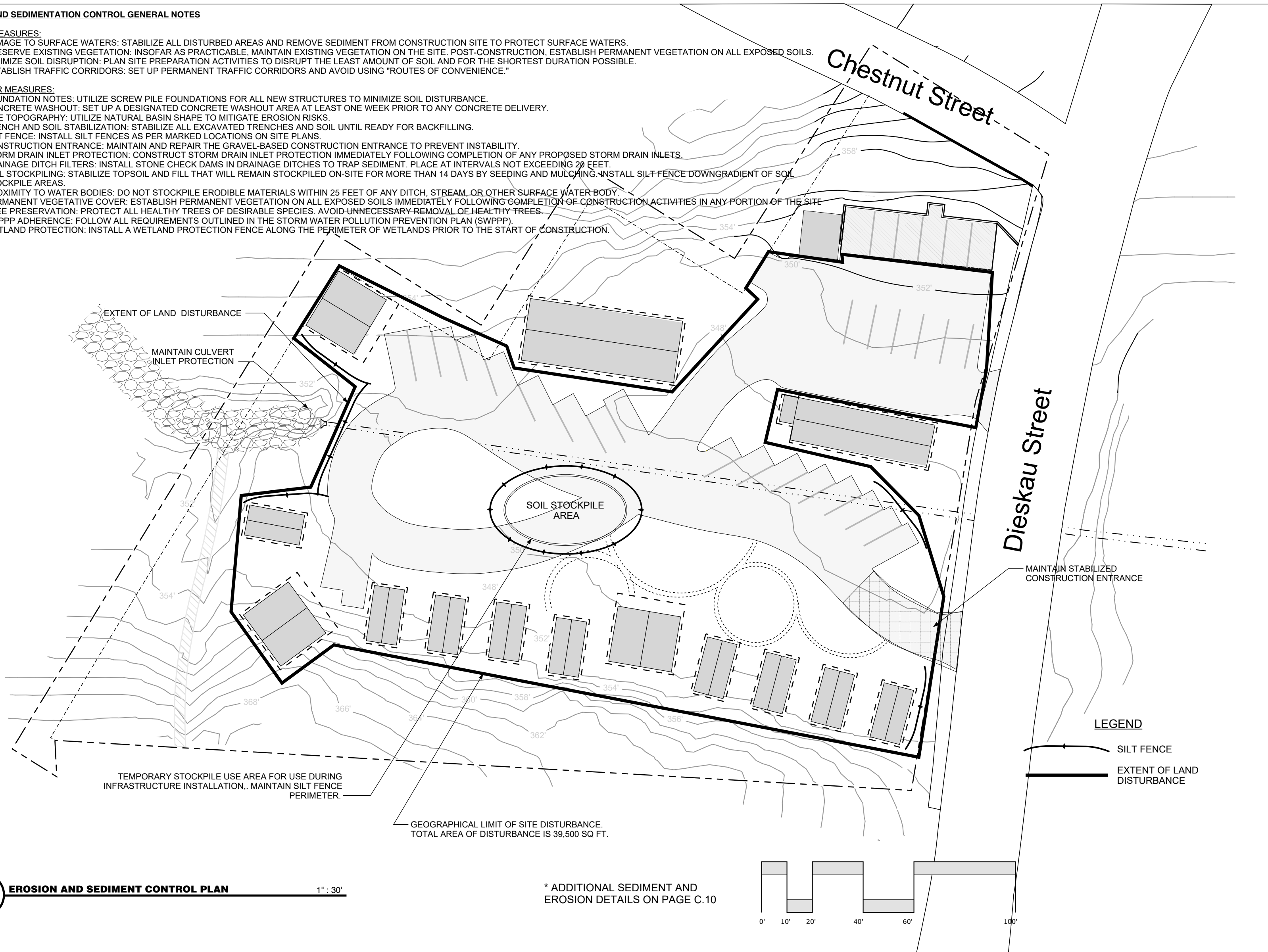
EROSION AND SEDIMENTATION CONTROL GENERAL NOTES

GENERAL MEASURES:

1. DAMAGE TO SURFACE WATERS: STABILIZE ALL DISTURBED AREAS AND REMOVE SEDIMENT FROM CONSTRUCTION SITE TO PROTECT SURFACE WATERS.
2. PRESERVE EXISTING VEGETATION: INSOFAR AS PRACTICABLE, MAINTAIN EXISTING VEGETATION ON THE SITE. POST-CONSTRUCTION, ESTABLISH PERMANENT VEGETATION ON ALL EXPOSED SOILS.
3. MINIMIZE SOIL DISRUPTION: PLAN SITE PREPARATION ACTIVITIES TO DISRUPT THE LEAST AMOUNT OF SOIL AND FOR THE SHORTEST DURATION POSSIBLE.
4. ESTABLISH TRAFFIC CORRIDORS: SET UP PERMANENT TRAFFIC CORRIDORS AND AVOID USING "ROUTES OF CONVENIENCE."

PARTICULAR MEASURES:

1. FOUNDATION NOTES: UTILIZE SCREW PILE FOUNDATIONS FOR ALL NEW STRUCTURES TO MINIMIZE SOIL DISTURBANCE.
2. CONCRETE WASHOUT: SET UP A DESIGNATED CONCRETE WASHOUT AREA AT LEAST ONE WEEK PRIOR TO ANY CONCRETE DELIVERY.
3. SITE TOPOGRAPHY: UTILIZE NATURAL BASIN SHAPE TO MITIGATE EROSION RISKS.
4. TRENCH AND SOIL STABILIZATION: STABILIZE ALL EXCAVATED TRENCHES AND SOIL UNTIL READY FOR BACKFILLING.
5. SILT FENCE: INSTALL SILT FENCES AS PER MARKED LOCATIONS ON SITE PLANS.
6. CONSTRUCTION ENTRANCE: MAINTAIN AND REPAIR THE GRAVEL-BASED CONSTRUCTION ENTRANCE TO PREVENT INSTABILITY.
7. STORM DRAIN INLET PROTECTION: CONSTRUCT STORM DRAIN INLET PROTECTION IMMEDIATELY FOLLOWING COMPLETION OF ANY PROPOSED STORM DRAIN INLETS.
8. DRAINAGE DITCH FILTERS: INSTALL STONE CHECK DAMS IN DRAINAGE DITCHES TO TRAP SEDIMENT. PLACE AT INTERVALS NOT EXCEEDING 20 FEET.
9. SOIL STOCKPILING: STABILIZE TOPSOIL AND FILL THAT WILL REMAIN STOCKPILED ON-SITE FOR MORE THAN 14 DAYS BY SEEDING AND MULCHING. INSTALL SILT FENCE DOWNGRADIENT OF SOIL STOCKPILE AREAS.
10. PROXIMITY TO WATER BODIES: DO NOT STOCKPILE ERODIBLE MATERIALS WITHIN 25 FEET OF ANY DITCH, STREAM, OR OTHER SURFACE WATER BODY.
11. PERMANENT VEGETATIVE COVER: ESTABLISH PERMANENT VEGETATION ON ALL EXPOSED SOILS IMMEDIATELY FOLLOWING COMPLETION OF CONSTRUCTION ACTIVITIES IN ANY PORTION OF THE SITE.
12. TREE PRESERVATION: PROTECT ALL HEALTHY TREES OF DESIRABLE SPECIES. AVOID UNNECESSARY REMOVAL OF HEALTHY TREES.
13. SWPPP ADHERENCE: FOLLOW ALL REQUIREMENTS OUTLINED IN THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP).
14. WETLAND PROTECTION: INSTALL A WETLAND PROTECTION FENCE ALONG THE PERIMETER OF WETLANDS PRIOR TO THE START OF CONSTRUCTION.



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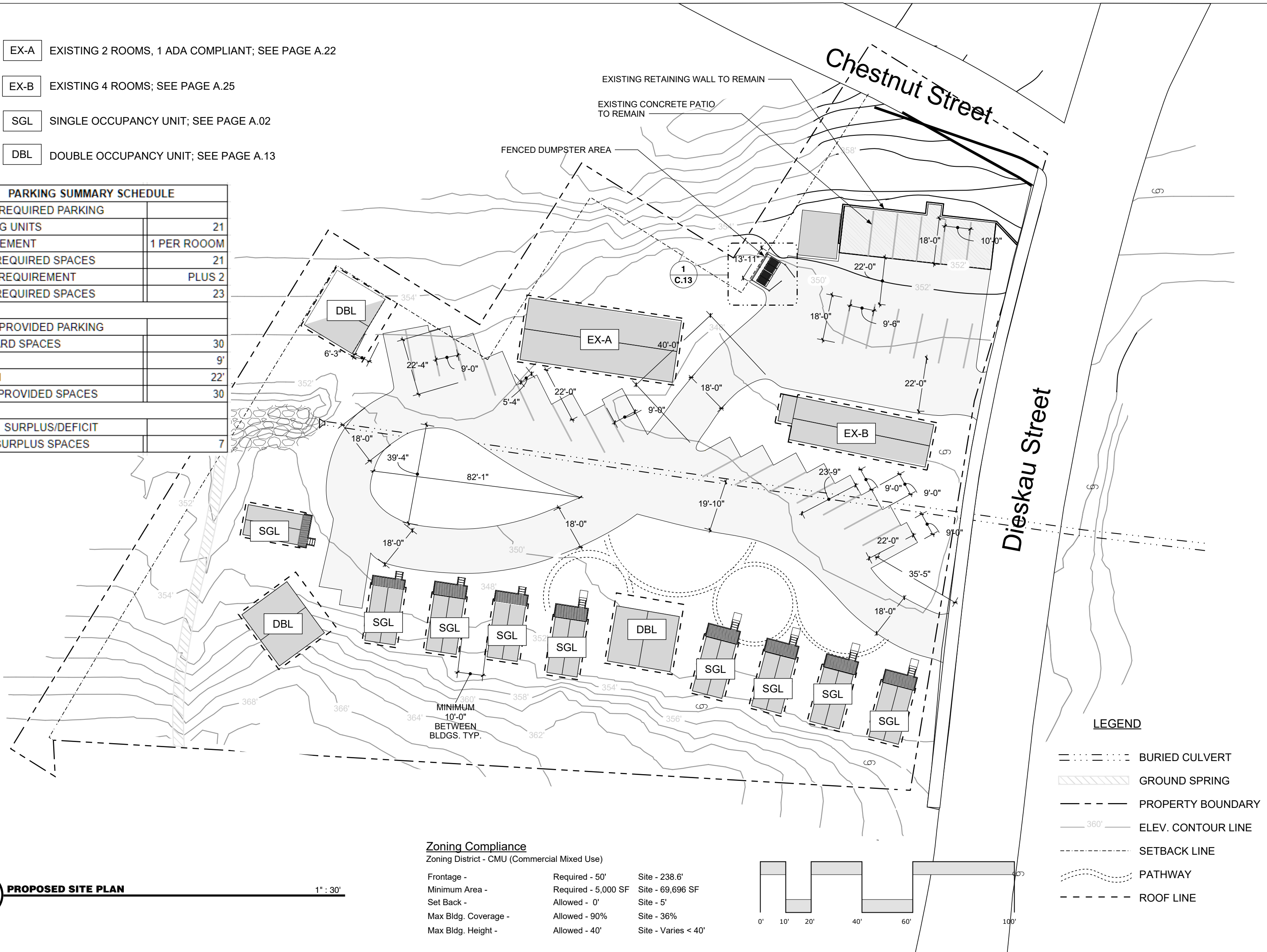
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SEDIMENT & EROSION PLAN



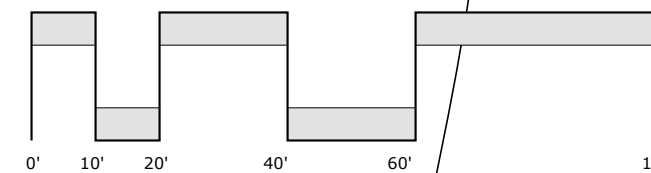
- EX-A EXISTING 2 ROOMS, 1 ADA COMPLIANT; SEE PAGE A.22
- EX-B EXISTING 4 ROOMS; SEE PAGE A.25
- SGL SINGLE OCCUPANCY UNIT; SEE PAGE A.02
- DBL DOUBLE OCCUPANCY UNIT; SEE PAGE A.13

PARKING SUMMARY SCHEDULE	
REQUIRED PARKING	
LODGING UNITS	21
REQUIREMENT	1 PER ROOM
TOTAL REQUIRED SPACES	21
ADD'TL REQUIREMENT	PLUS 2
TOTAL REQUIRED SPACES	23
PROVIDED PARKING	
STANDARD SPACES	30
WIDTH	9'
LENGTH	22'
TOTAL PROVIDED SPACES	30
SURPLUS/DEFICIT	
TOTAL SURPLUS SPACES	7



Zoning Compliance
Zoning District - CMU (Commercial Mixed Use)

Frontage -	Required - 50'	Site - 238.6'
Minimum Area -	Required - 5,000 SF	Site - 69,696 SF
Set Back -	Allowed - 0'	Site - 5'
Max Bldg. Coverage -	Allowed - 90%	Site - 36%
Max Bldg. Height -	Allowed - 40'	Site - Varies < 40'



LEGEND

- BURIED CULVERT
- GROUND SPRING
- PROPERTY BOUNDARY
- ELEV. CONTOUR LINE
- SETBACK LINE
- PATHWAY
- ROOF LINE

1 PROPOSED SITE PLAN 1" : 30'

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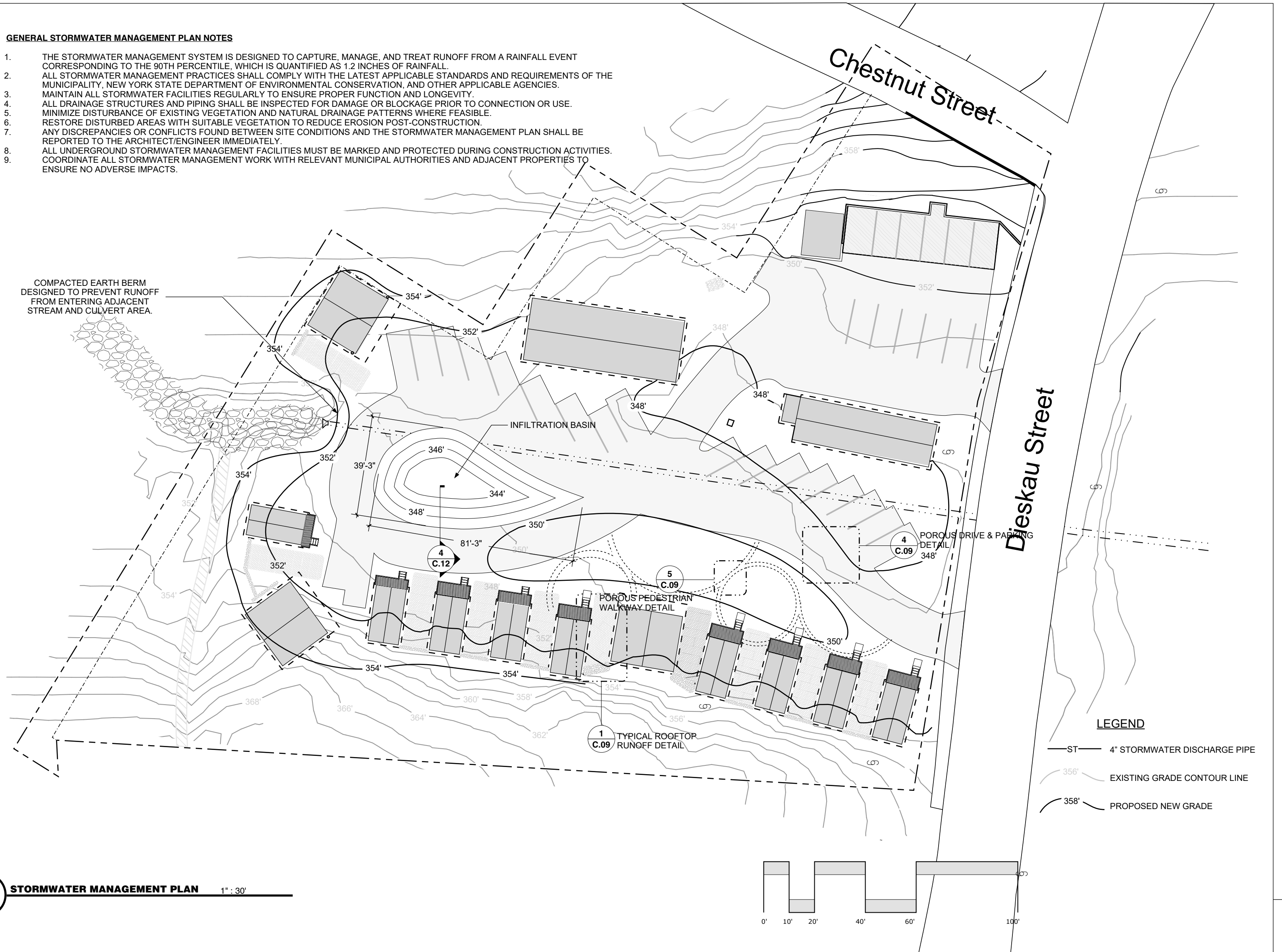
SITE PLAN

C.04

GENERAL STORMWATER MANAGEMENT PLAN NOTES

1. THE STORMWATER MANAGEMENT SYSTEM IS DESIGNED TO CAPTURE, MANAGE, AND TREAT RUNOFF FROM A RAINFALL EVENT CORRESPONDING TO THE 90TH PERCENTILE, WHICH IS QUANTIFIED AS 1.2 INCHES OF RAINFALL.
2. ALL STORMWATER MANAGEMENT PRACTICES SHALL COMPLY WITH THE LATEST APPLICABLE STANDARDS AND REQUIREMENTS OF THE MUNICIPALITY, NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION, AND OTHER APPLICABLE AGENCIES.
3. MAINTAIN ALL STORMWATER FACILITIES REGULARLY TO ENSURE PROPER FUNCTION AND LONGEVITY.
4. ALL DRAINAGE STRUCTURES AND PIPING SHALL BE INSPECTED FOR DAMAGE OR BLOCKAGE PRIOR TO CONNECTION OR USE.
5. MINIMIZE DISTURBANCE OF EXISTING VEGETATION AND NATURAL DRAINAGE PATTERNS WHERE FEASIBLE.
6. RESTORE DISTURBED AREAS WITH SUITABLE VEGETATION TO REDUCE EROSION POST-CONSTRUCTION.
7. ANY DISCREPANCIES OR CONFLICTS FOUND BETWEEN SITE CONDITIONS AND THE STORMWATER MANAGEMENT PLAN SHALL BE REPORTED TO THE ARCHITECT/ENGINEER IMMEDIATELY.
8. ALL UNDERGROUND STORMWATER MANAGEMENT FACILITIES MUST BE MARKED AND PROTECTED DURING CONSTRUCTION ACTIVITIES.
9. COORDINATE ALL STORMWATER MANAGEMENT WORK WITH RELEVANT MUNICIPAL AUTHORITIES AND ADJACENT PROPERTIES TO ENSURE NO ADVERSE IMPACTS.

COMPACTED EARTH BERM
DESIGNED TO PREVENT RUNOFF
FROM ENTERING ADJACENT
STREAM AND CULVERT AREA.



1 STORMWATER MANAGEMENT PLAN 1" : 30'



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**STORMWATER
MANAGEMENT &
GRADING PLAN**

C.05

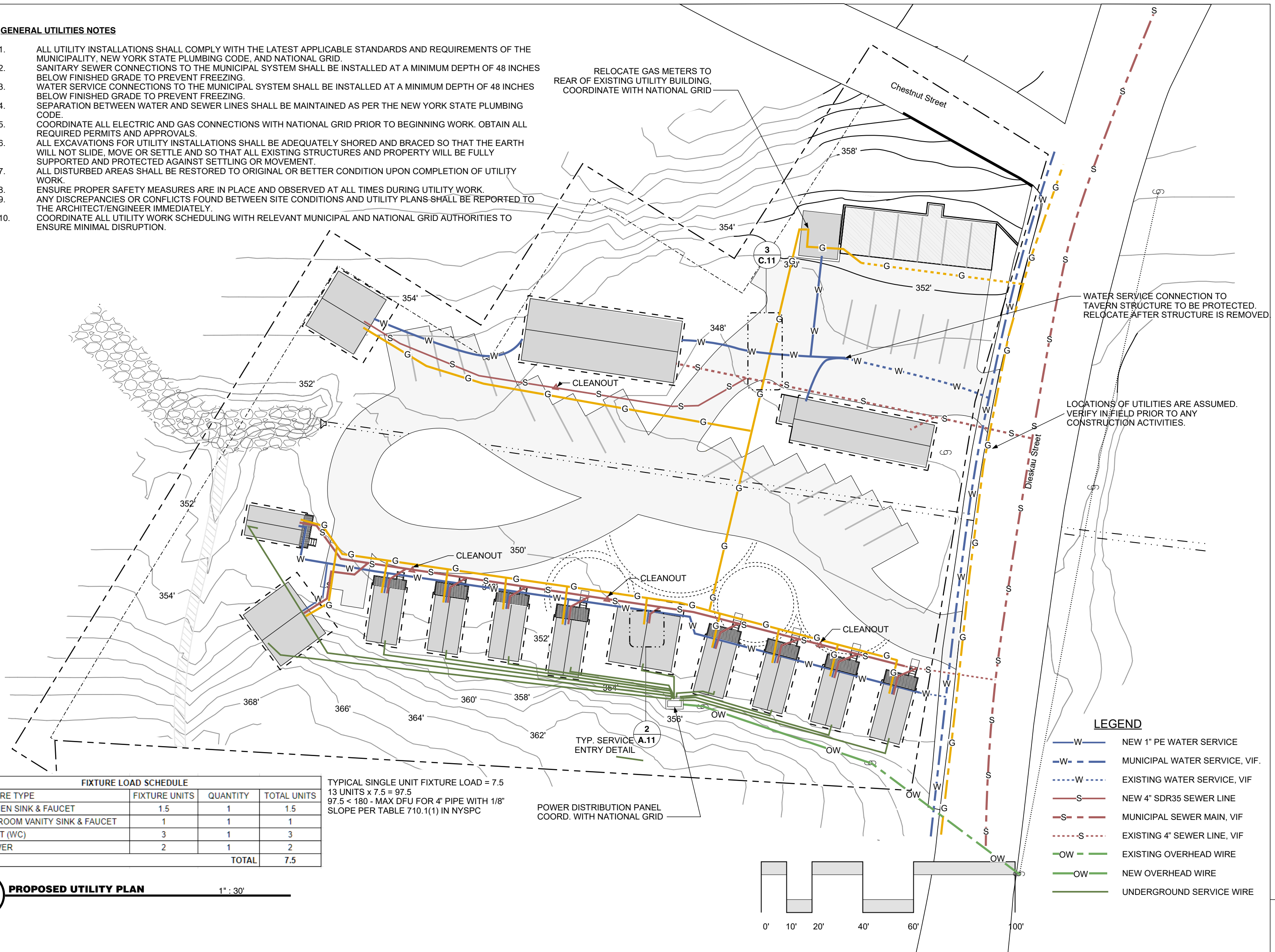
GENERAL UTILITIES NOTES

1. ALL UTILITY INSTALLATIONS SHALL COMPLY WITH THE LATEST APPLICABLE STANDARDS AND REQUIREMENTS OF THE MUNICIPALITY, NEW YORK STATE PLUMBING CODE, AND NATIONAL GRID.
2. SANITARY SEWER CONNECTIONS TO THE MUNICIPAL SYSTEM SHALL BE INSTALLED AT A MINIMUM DEPTH OF 48 INCHES BELOW FINISHED GRADE TO PREVENT FREEZING.
3. WATER SERVICE CONNECTIONS TO THE MUNICIPAL SYSTEM SHALL BE INSTALLED AT A MINIMUM DEPTH OF 48 INCHES BELOW FINISHED GRADE TO PREVENT FREEZING.
4. SEPARATION BETWEEN WATER AND SEWER LINES SHALL BE MAINTAINED AS PER THE NEW YORK STATE PLUMBING CODE.
5. COORDINATE ALL ELECTRIC AND GAS CONNECTIONS WITH NATIONAL GRID PRIOR TO BEGINNING WORK. OBTAIN ALL REQUIRED PERMITS AND APPROVALS.
6. ALL EXCAVATIONS FOR UTILITY INSTALLATIONS SHALL BE ADEQUATELY SHORED AND BRACED SO THAT THE EARTH WILL NOT SLIDE, MOVE OR SETTLE AND SO THAT ALL EXISTING STRUCTURES AND PROPERTY WILL BE FULLY SUPPORTED AND PROTECTED AGAINST SETTLING OR MOVEMENT.
7. ALL DISTURBED AREAS SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION UPON COMPLETION OF UTILITY WORK.
8. ENSURE PROPER SAFETY MEASURES ARE IN PLACE AND OBSERVED AT ALL TIMES DURING UTILITY WORK.
9. ANY DISCREPANCIES OR CONFLICTS FOUND BETWEEN SITE CONDITIONS AND UTILITY PLANS SHALL BE REPORTED TO THE ARCHITECT/ENGINEER IMMEDIATELY.
10. COORDINATE ALL UTILITY WORK SCHEDULING WITH RELEVANT MUNICIPAL AND NATIONAL GRID AUTHORITIES TO ENSURE MINIMAL DISRUPTION.

RELOCATE GAS METERS TO REAR OF EXISTING UTILITY BUILDING, COORDINATE WITH NATIONAL GRID

WATER SERVICE CONNECTION TO TAVERN STRUCTURE TO BE PROTECTED. RELOCATE AFTER STRUCTURE IS REMOVED.

LOCATIONS OF UTILITIES ARE ASSUMED. VERIFY IN FIELD PRIOR TO ANY CONSTRUCTION ACTIVITIES.



FIXTURE LOAD SCHEDULE

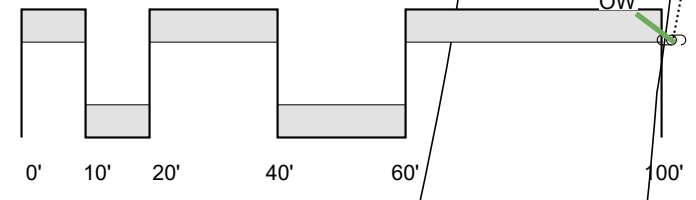
NO.	FIXTURE TYPE	FIXTURE UNITS	QUANTITY	TOTAL UNITS
1	KITCHEN SINK & FAUCET	1.5	1	1.5
2	BATHROOM VANITY SINK & FAUCET	1	1	1
3	TOILET (WC)	3	1	3
4	SHOWER	2	1	2
TOTAL				7.5

TYPICAL SINGLE UNIT FIXTURE LOAD = 7.5
 13 UNITS x 7.5 = 97.5
 97.5 < 180 - MAX DFU FOR 4" PIPE WITH 1/8" SLOPE PER TABLE 710.1(1) IN NYSPC

POWER DISTRIBUTION PANEL COORD. WITH NATIONAL GRID

TYP. SERVICE A.11 ENTRY DETAIL

- LEGEND**
- W — NEW 1" PE WATER SERVICE
 - - - W - - - MUNICIPAL WATER SERVICE, VIF.
 - ... W ... EXISTING WATER SERVICE, VIF
 - S — NEW 4" SDR35 SEWER LINE
 - - - S - - - MUNICIPAL SEWER MAIN, VIF
 - ... S ... EXISTING 4" SEWER LINE, VIF
 - OW — EXISTING OVERHEAD WIRE
 - OW — NEW OVERHEAD WIRE
 - — — UNDERGROUND SERVICE WIRE



1 PROPOSED UTILITY PLAN 1" : 30'



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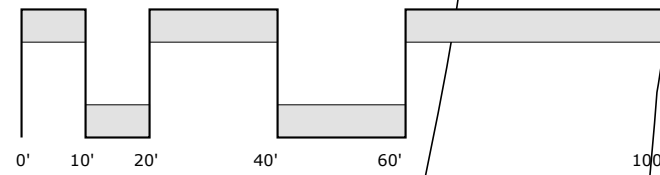
UTILITIES PLAN

LUMINAIRE SCHEDULE					
QTY	LABEL	LUM. WATTS	ARRANGEMENT	LLF	DESCRIPTION
12	SP	87.7	SINGLE	0.900	SL220 F WW BLK + GH220B
19	WL	57	SINGLE	0.900	PRM32-36L-285-5K7-4W-HS
3	LP	118.8	SINGLE	0.900	PRMD2-72L-225-3K7-4W

CALCULATION SUMMARY						
LABEL	UNITS	AVG	MAX	MIN	AVG/MIN	MAX/MIN
WALKWAY	FC	1.152	309.181	0.029	0.002	0.000
PARKING	FC	0.527	3.057	0.025	0.004	0.001
SITE CALC	FC	0.031	361.671	0.000	NA	NA



1 Proposed Site Layout Plan 1" : 30'



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LIGHTING PLAN

LANDSCAPE PLANT SCHEDULE						
	KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
SHRUBS/TREES	A		THUJA OCCIDENTALIS	ARBORVITAE	4' TO 6'	
	CL		LINDERA BENZOIN	SPICE BUSH	2' TO 3'	
	DG		CORNUS FLORIDA	DOGWOOD	5' TO 6'	
	J		JUNIPERUS VIRGINIANA	JUNIPER	3' TO 4'	
	RB		BETULA NIGRA	RIVER BIRCH	6' TO 8'	
	RM		ACER RUBRUM	RED MAPLE	4' TO 6'	
PERENNIALS	BES		RUDBECKIA HIRTA	BLACK EYED SUSAN	1'	2' O.C.
	BS		SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM	1'	3' O.C.
	G		MISCANTHUS SINENSIS	MAIDEN GRASS	2' TO 3'	4' O.C.
	JP		EUPATORIUM PURPUREUM	JOE PYE WEED	2' TO 3'	2' O.C.



1 PROPOSED LANDSCAPING PLAN 1" : 30'



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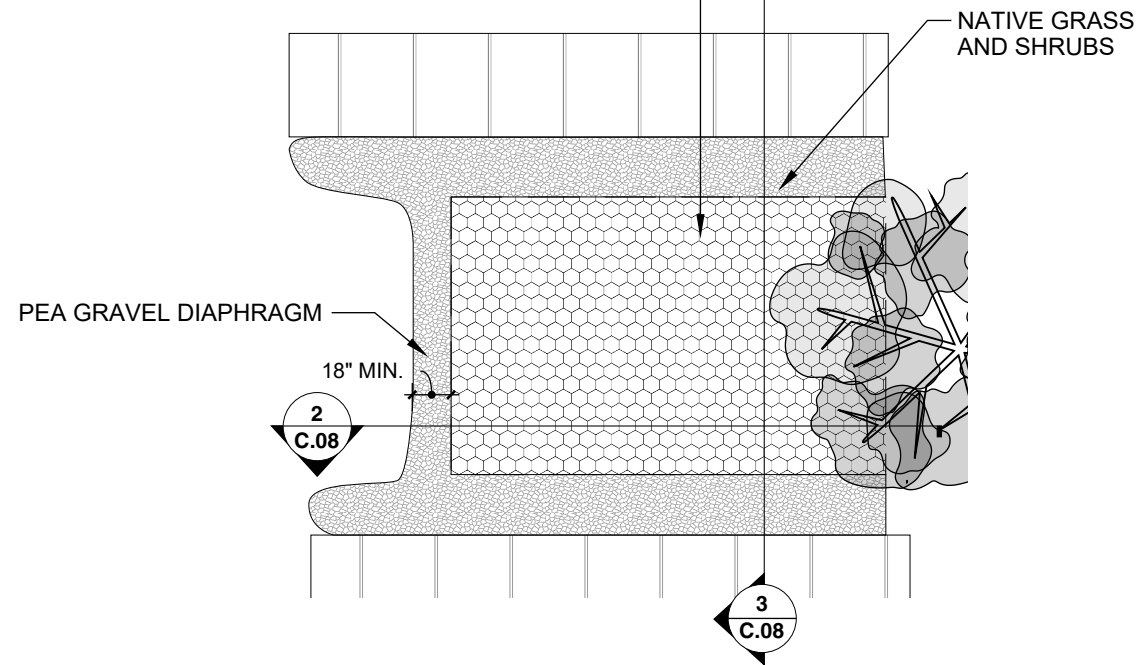
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**LANDSCAPING
PLAN**

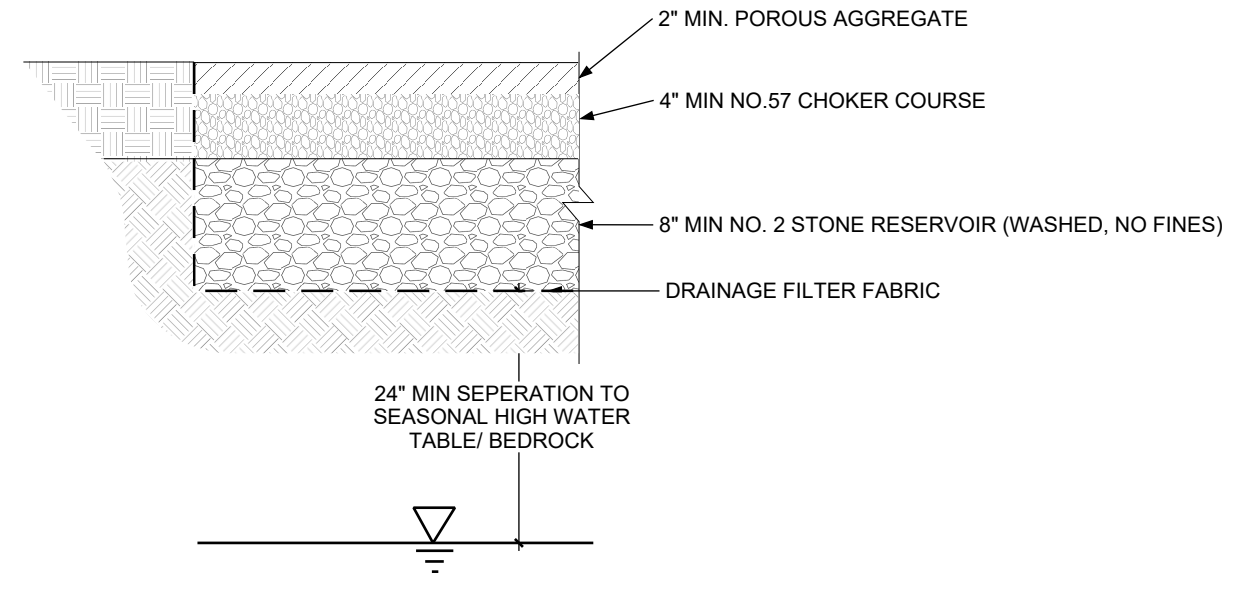
DISCONNECTION OF ROOFTOP RUNOFF DETAIL



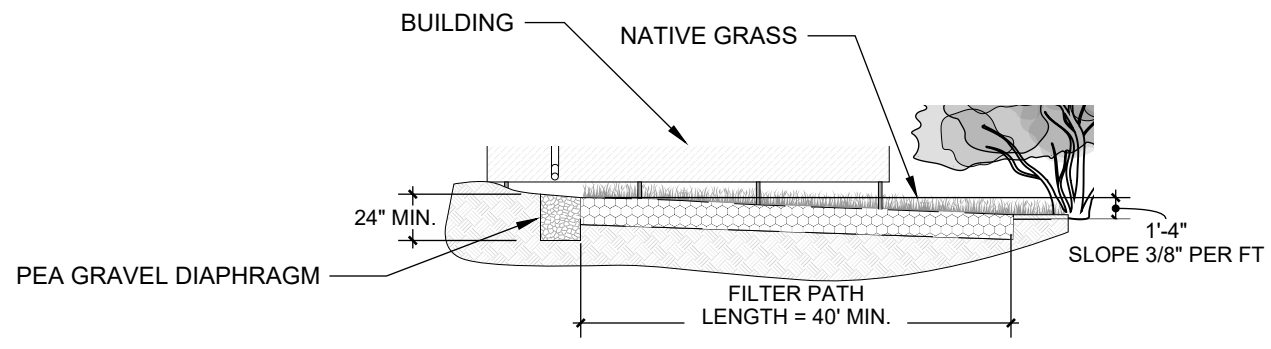
AMEND SOILS WHEN NECESSARY
APPLY 3" MIN. COMPOST AND
TILL TO DEPTH OF 8" MIN.



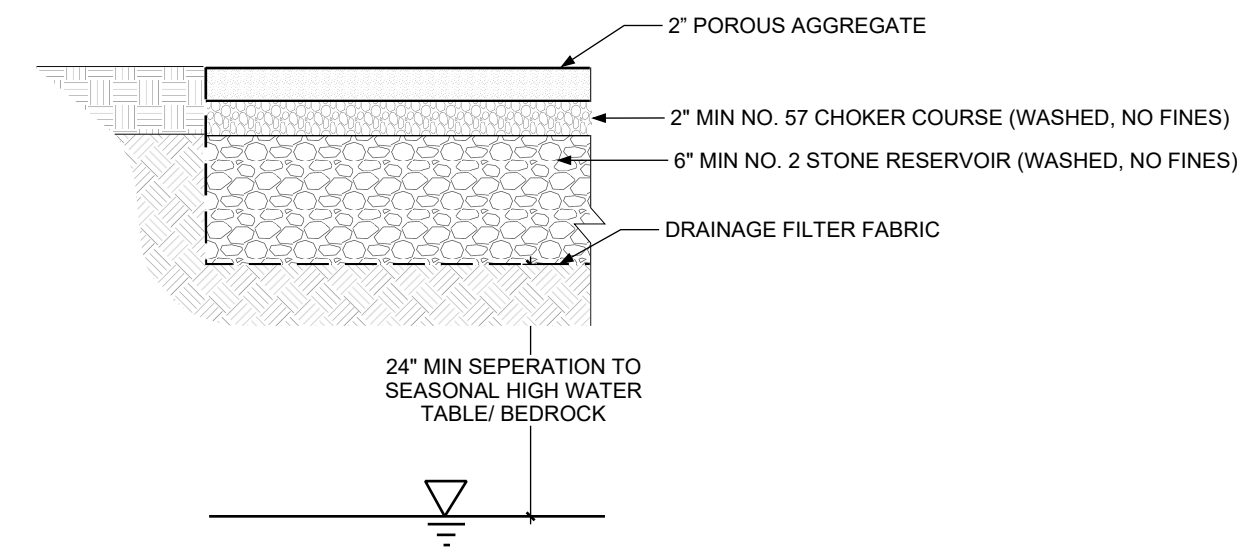
1 PLAN VIEW N.T.S.



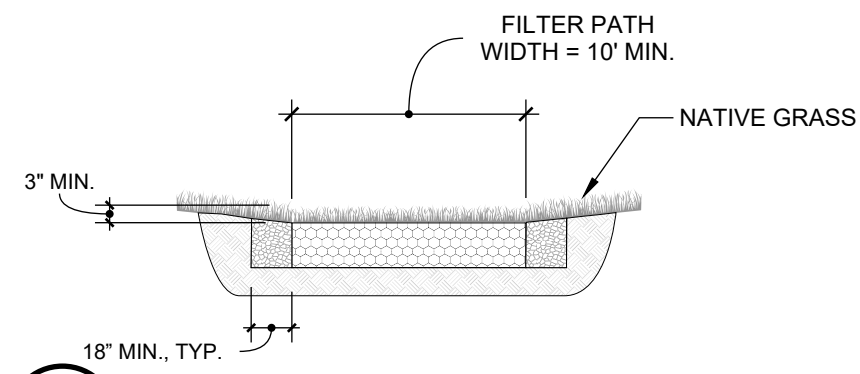
4 POROUS DRIVE & PARKING SECTION N.T.S.



2 PROFILE VIEW N.T.S.



5 PEDESTRIAN WALKWAY SECTION N.T.S.



3 SECTION VIEW N.T.S.

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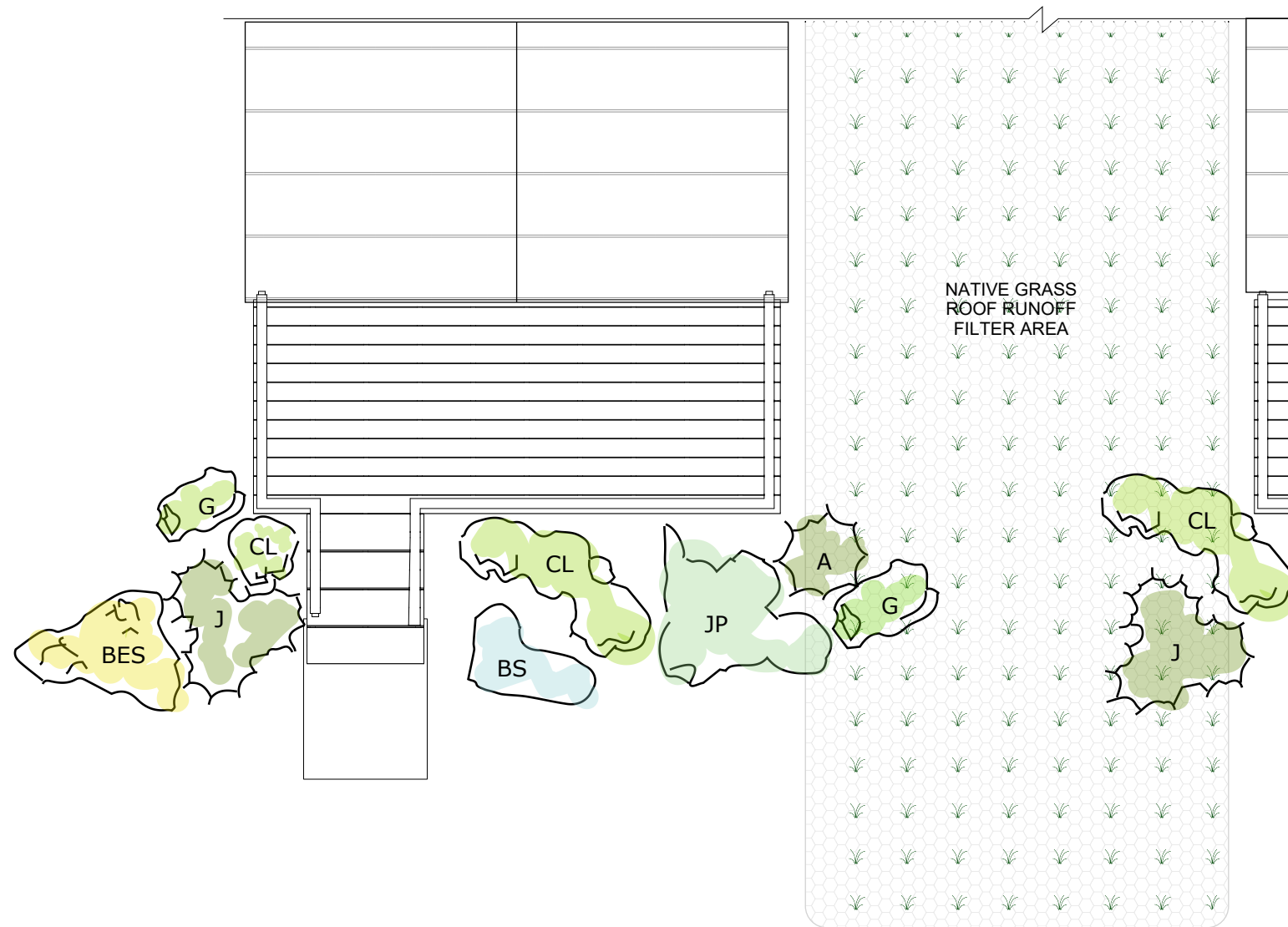
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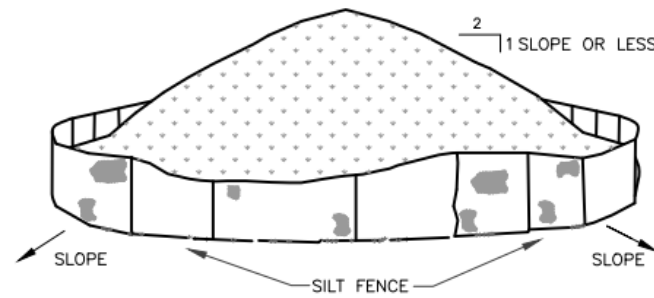
STORMWATER
DETAILS

C.09



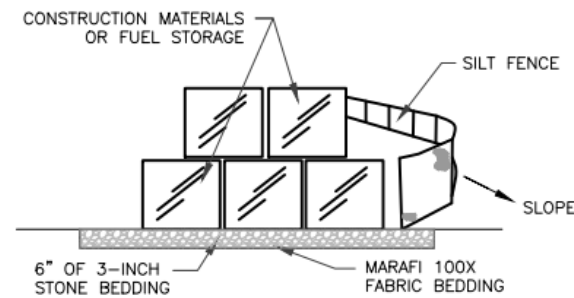
LANDSCAPE PLANT SCHEDULE						
	KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
SHRUBS/TREES	A		THUJA OCCIDENTALIS	ARBORVITAE	4' TO 6'	
	CL		LINDERA BENZOIN	SPICE BUSH	2' TO 3'	
	DG		CORNUS FLORIDA	DOGWOOD	5' TO 6'	
	J		JUNIPERUS VIRGINIANA	JUNIPER	3' TO 4'	
	RB		BETULA NIGRA	RIVER BIRCH	6' TO 8'	
PERENNIALS	RM		ACER RUBRUM	RED MAPLE	4' TO 6'	
	BES		RUDBECKIA HIRTA	BLACK EYED SUSAN	1'	2' O.C.
	BS		SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM	1'	3' O.C.
	G		MISCANTHUS SINENSIS	MAIDEN GRASS	2' TO 3'	4' O.C.
	JP		EUPATORIUM PURPUREUM	JOE PYE WEED	2' TO 3'	2' O.C.

1 TYPICAL UNIT LANDSCAPE DETAIL N.T.S.



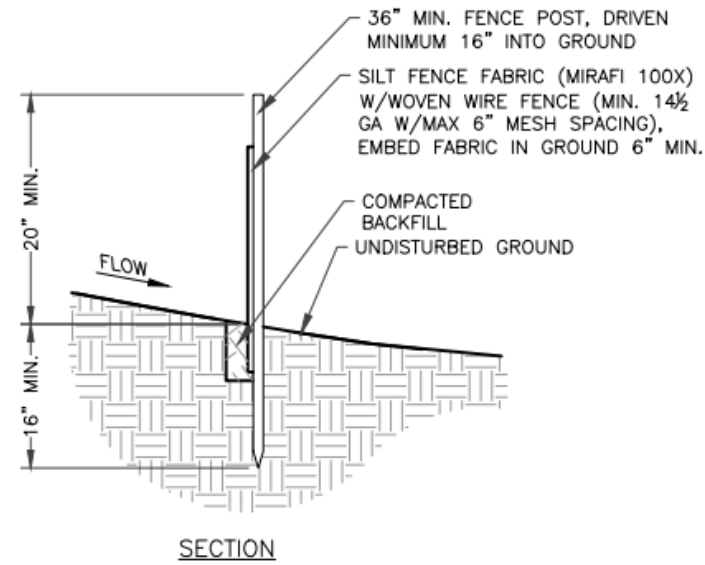
- AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
- MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2.
- SILT FENCING SHALL BE PLACED 5' DOWNSLOPE OF EACH PILE. UPON COMPLETION OF SOIL STOCKPILING, TOPSOIL SHALL BE STABILIZED WITH SEED AND MULCH IF NOT TO BE DISTURBED/UTILIZED WITHIN 14 DAYS.
- SEE ADDITIONAL DETAILS FOR INSTALLATION OF SILT FENCE.
- TEMPORARY PERIMETER DIKES MAY BE REQUIRED TO DIRECT CLEAN RUNOFF FROM STOCKPILE AREAS. REFER TO EROSION AND SEDIMENT CONTROL PLAN.

SOIL STOCKPILE



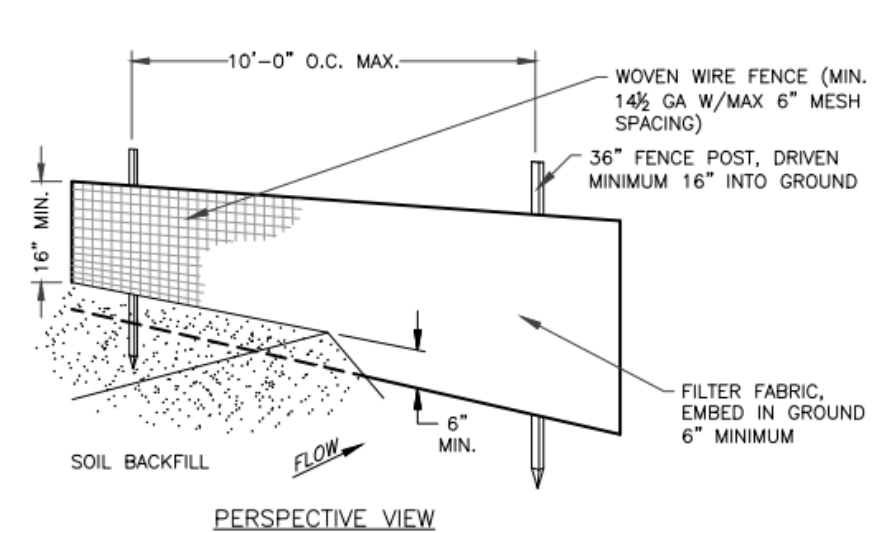
- AREA CHOSEN FOR STORAGE OPERATIONS SHALL BE DRY AND STABLE.
- MINIMUM DISTANCE TO A NATURAL WATER COURSE SHALL BE 50'.
- THE TOP SIX INCHES OF NATIVE MATERIAL SHALL BE REMOVED FROM MATERIAL/FUEL STORAGE AREA AND REPLACED WITH MARAFI 100X GEOTEXTILE FABRIC AND 6" INCHES OF CRUSHED STONE BEDDING. CRUSHED STONE SHALL MEET NYSDOT ITEM NO. 623.11 SPECIFICATIONS.
- SILT FENCING SHALL BE PLACED 5' DOWNSLOPE OF STORAGE AREA.
- TEMPORARY PERIMETER DIKES MAY BE REQUIRED TO DIRECT CLEAN RUNOFF FROM STORAGE AREAS. REFER TO EROSION AND SEDIMENT CONTROL PLAN.

FUEL OR MATERIAL STORAGE AREA



CONSTRUCTION SPECIFICATIONS

- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
- FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 12½ GA, 6" MAXIMUM MESH OPENING.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER-LAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
- PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

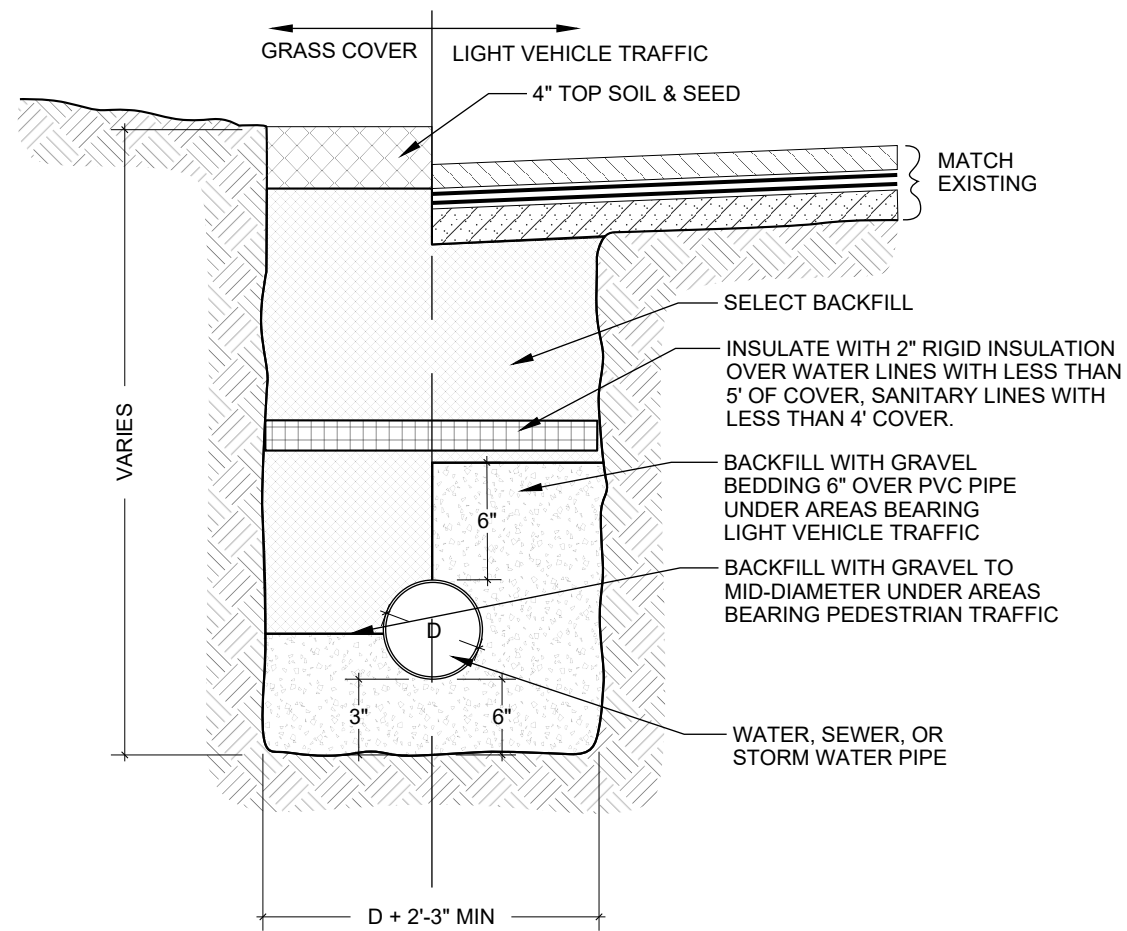


SLOPE	STEEPNESS	SLOPE LENGTH/FENCE LENGTH (FT)		
		STANDARD	REINFORCED	SUPER
<2%	<50:1	300/1500	N/A	N/A
2-10%	50:1 TO 10:1	125/1000	250/2000	300/2500
10-20%	10:1 TO 5:1	100/750	150/1000	200/1000
20-33%	5:1 TO 3:1	60/500	80/750	100/1000
33-50%	3:1 TO 2:1	40/250	70/350	100/500
>50%	>2:1	20/125	30/175	50/250

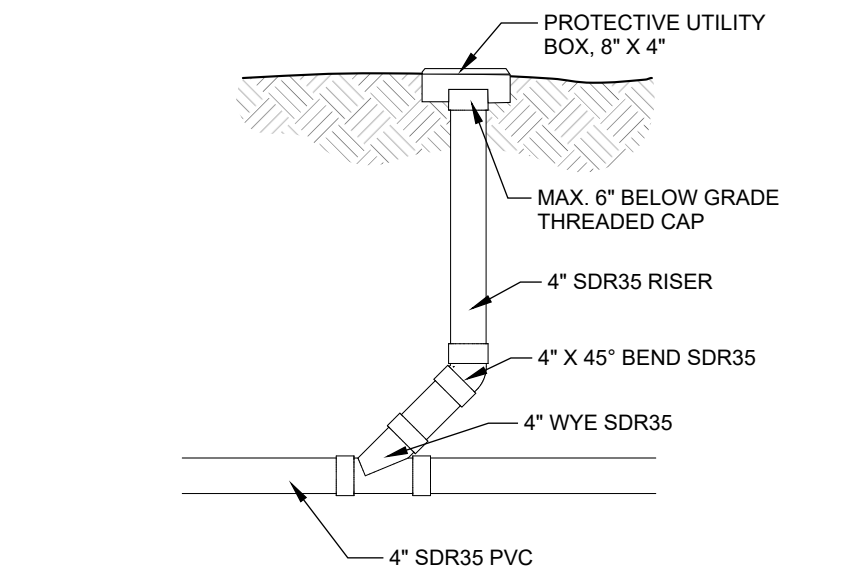
STANDARD SILT FENCE (SF) IS FABRIC ROLLS STAPLED TO WOODEN STAKES DRIVEN 16" IN THE GROUND.
REINFORCED SILT FENCE (RSF) IS FABRIC PLACED AGAINST WELDED WIRE FABRIC WITH ANCHORED STEEL POSTS DRIVEN 16" IN THE GROUND.
SUPER SILT FENCE (SSF) IS FABRIC PLACED AGAINST CHAIN LINK FENCE AS SUPPORT BACKING WITH POSTS DRIVEN 3' IN THE GROUND.

2 MATERIAL STORAGE AND SOIL STOCKPILE DETAIL N.T.S.

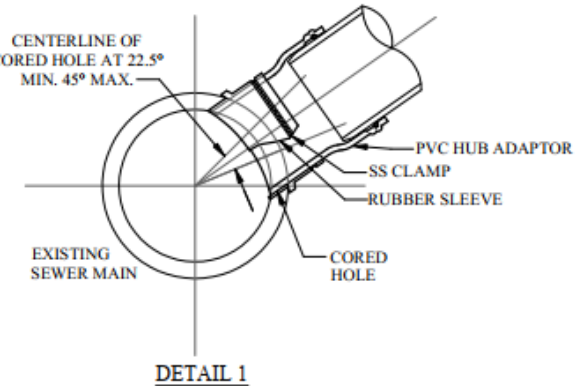
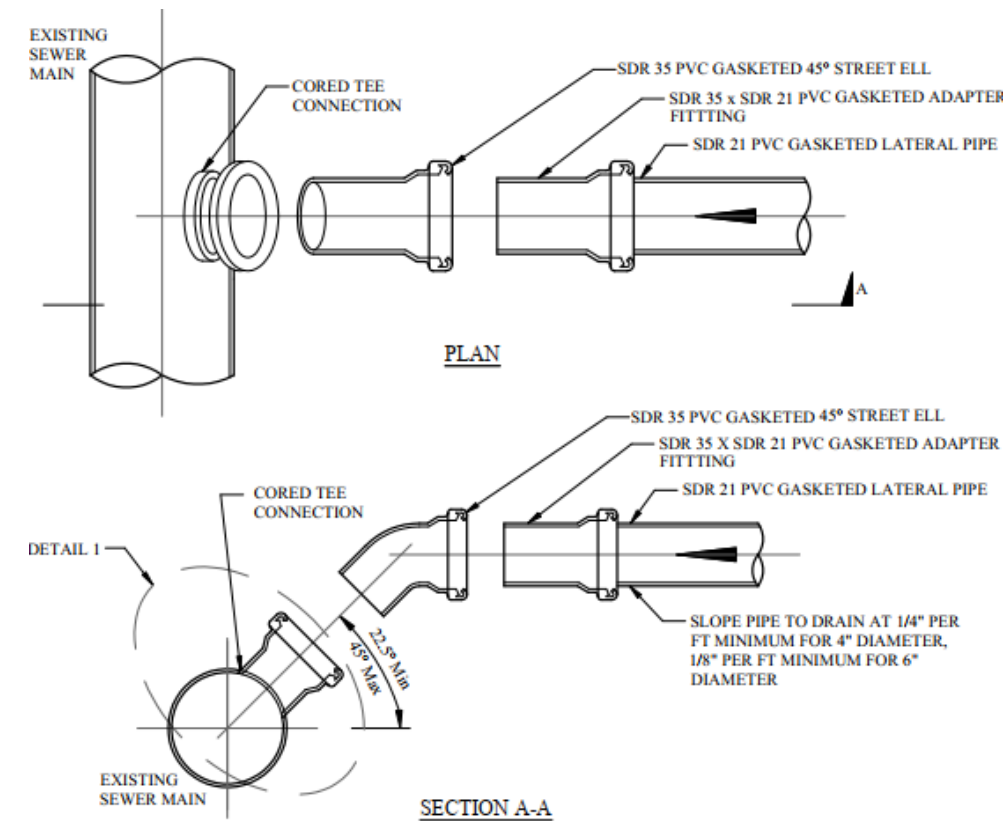
3 SEDIMENT CONTROL FENCE N.T.S.



1 TYPICAL UTILITY TRENCH DETAIL N.T.S.



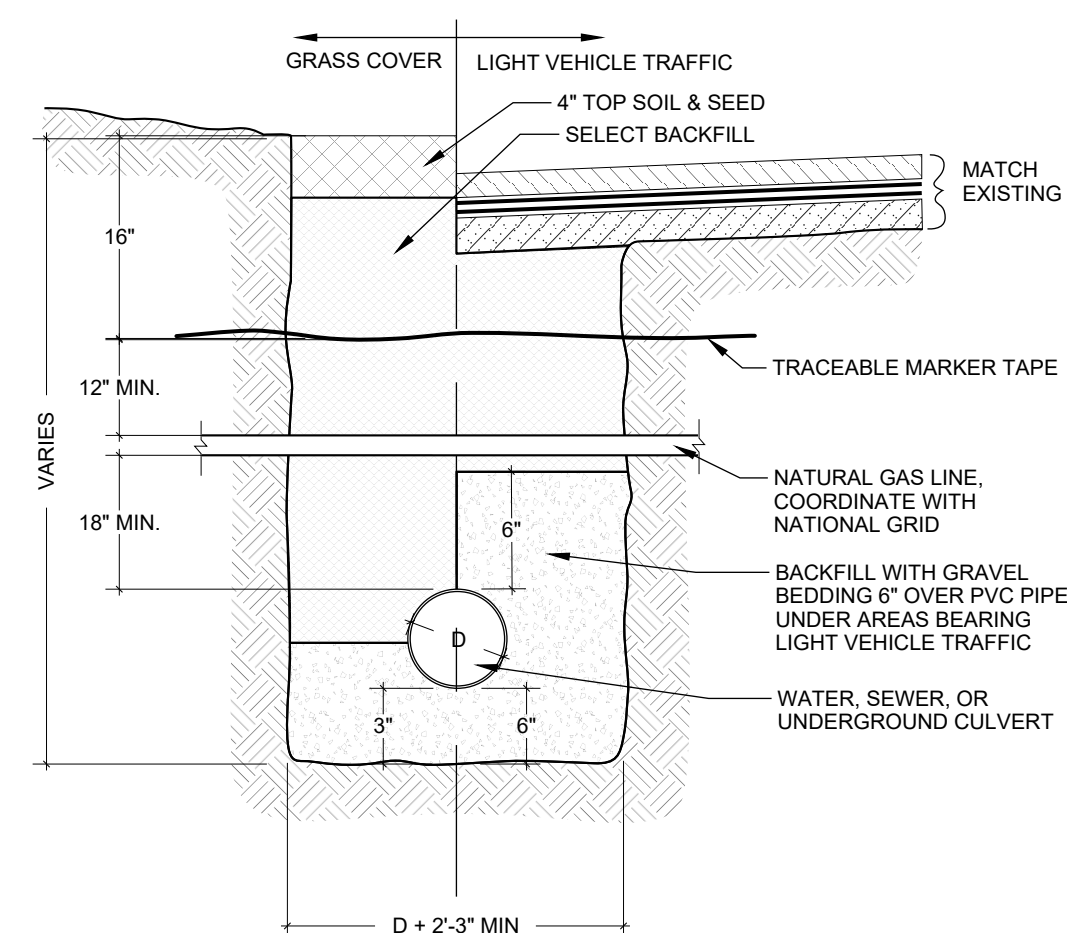
2 CLEANOUT DETAIL N.T.S.



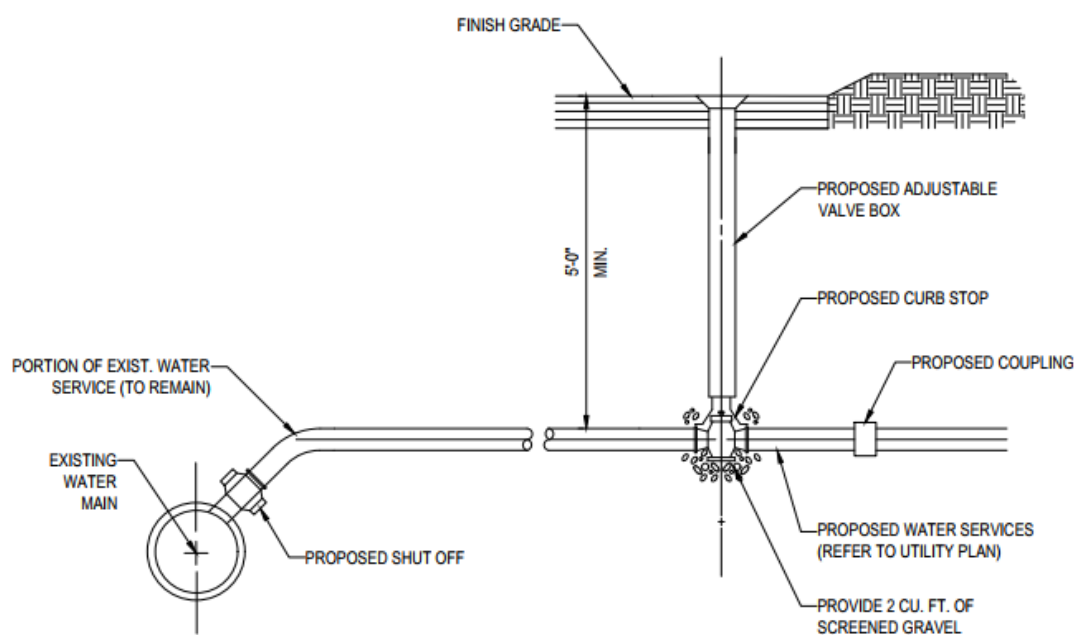
NOTES:

- AVOID USE OF DEVICES OR HAMMERING KNOCK-OUT METHODS FOR LATERAL PIPE. CORE HOLE SHOULD BE ALONG THE LENGTH OF THE MAIN, MINIMUM OF 6" AWAY FROM EXISTING PIPE HUBS.
- EXPOSE FACE OF PIPE FROM CROWN TO INVERT FOR HALF THE NOMINAL DIAMETER OF THE MAINLINE.
- TAKE NECESSARY PRECAUTIONS TO PREVENT DAMAGE TO THE EXISTING SEWER AND TO ENSURE DEBRIS DOES NOT ENTER THE SEWER.
- CLEAN SURFACE OF EXISTING PIPE THOROUGHLY BEFORE PLACEMENT OF THE CONNECTION.
- FOR TEE CONNECTION, USE AN "INSERTA TEE" BY INSERTA FITTINGS COMPANY OR AN APPROVED EQUIVALENT.

5 TYPICAL SEWER MAIN CONNECTION N.T.S.



3 NG UTILITY CROSS DETAIL N.T.S.



4 WATER SERVICE CONNECTION DETAIL N.T.S.



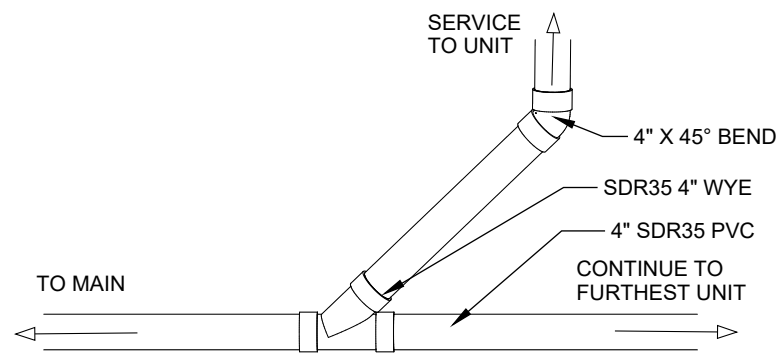
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Wilton, NY 12831
(518) 378-1881

CLIENT
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75 Dieskau St
Lake George, NY

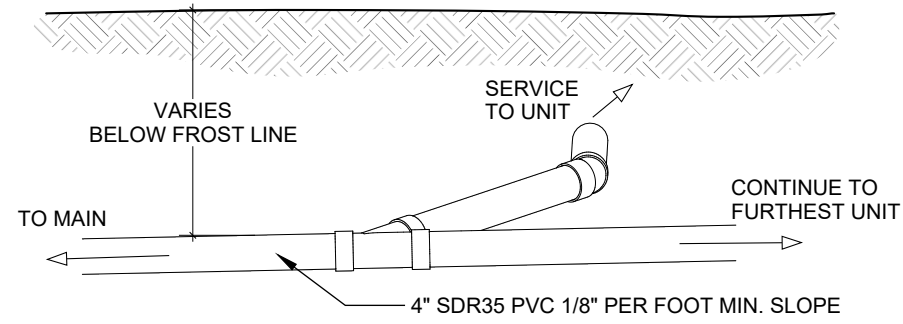
PROJECT
New Construction 13
units
PROJECT NO.
5R

ISSUE
10.16.2023
DRAWN BY
Jamie Gagné

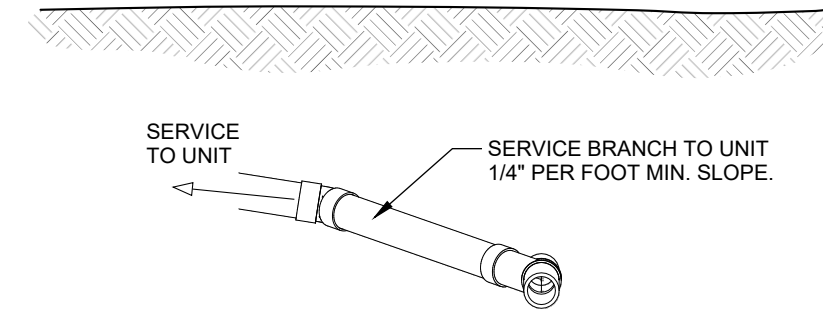
DETAILS



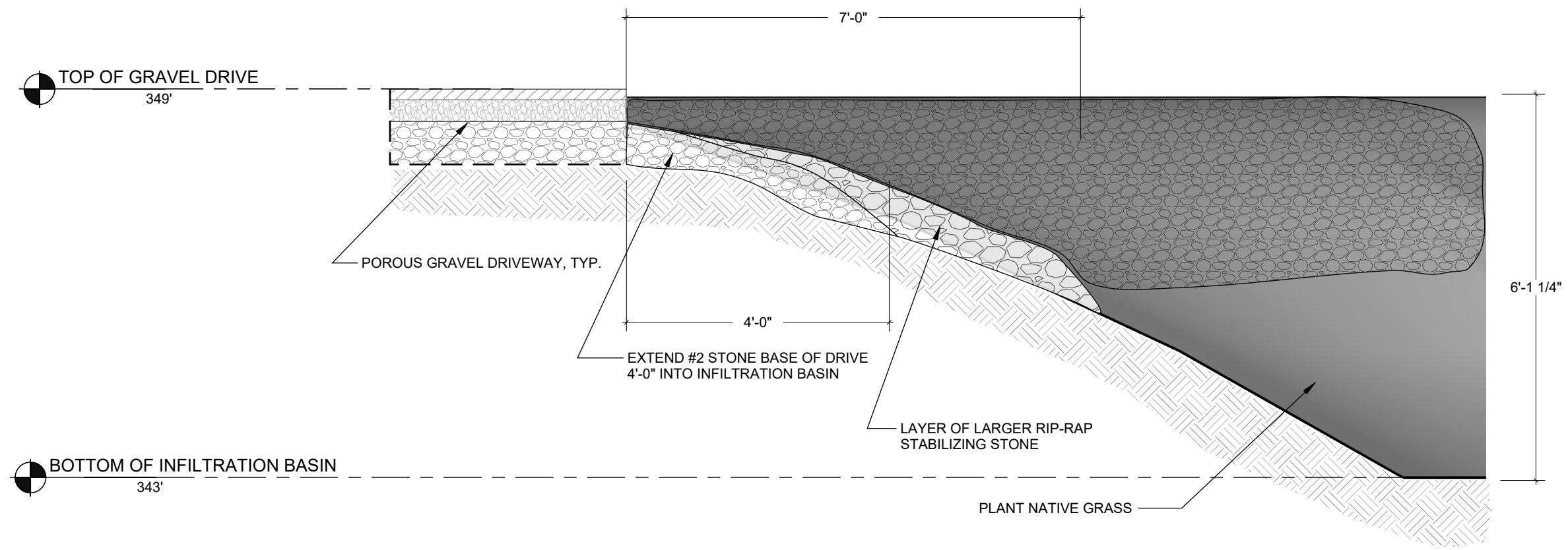
1 PLAN VIEW SEWER BRANCH TO UNIT N.T.S.



2 PROFILE SEWER BRANCH TO UNIT N.T.S.



3 END VIEW SEWER BRANCH TO UNIT N.T.S.



4 INFILTRATION BASIN SECTION N.T.S.



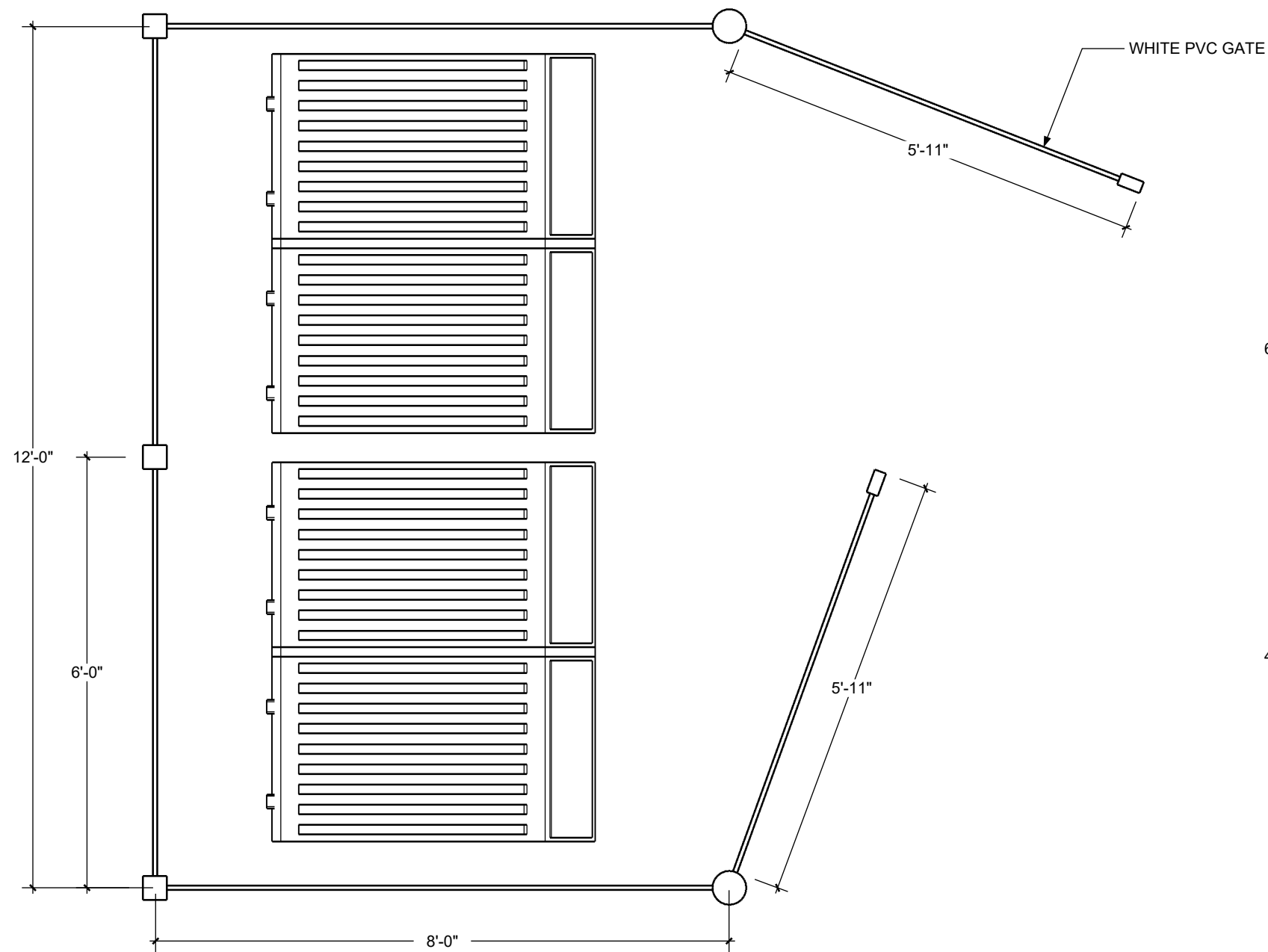
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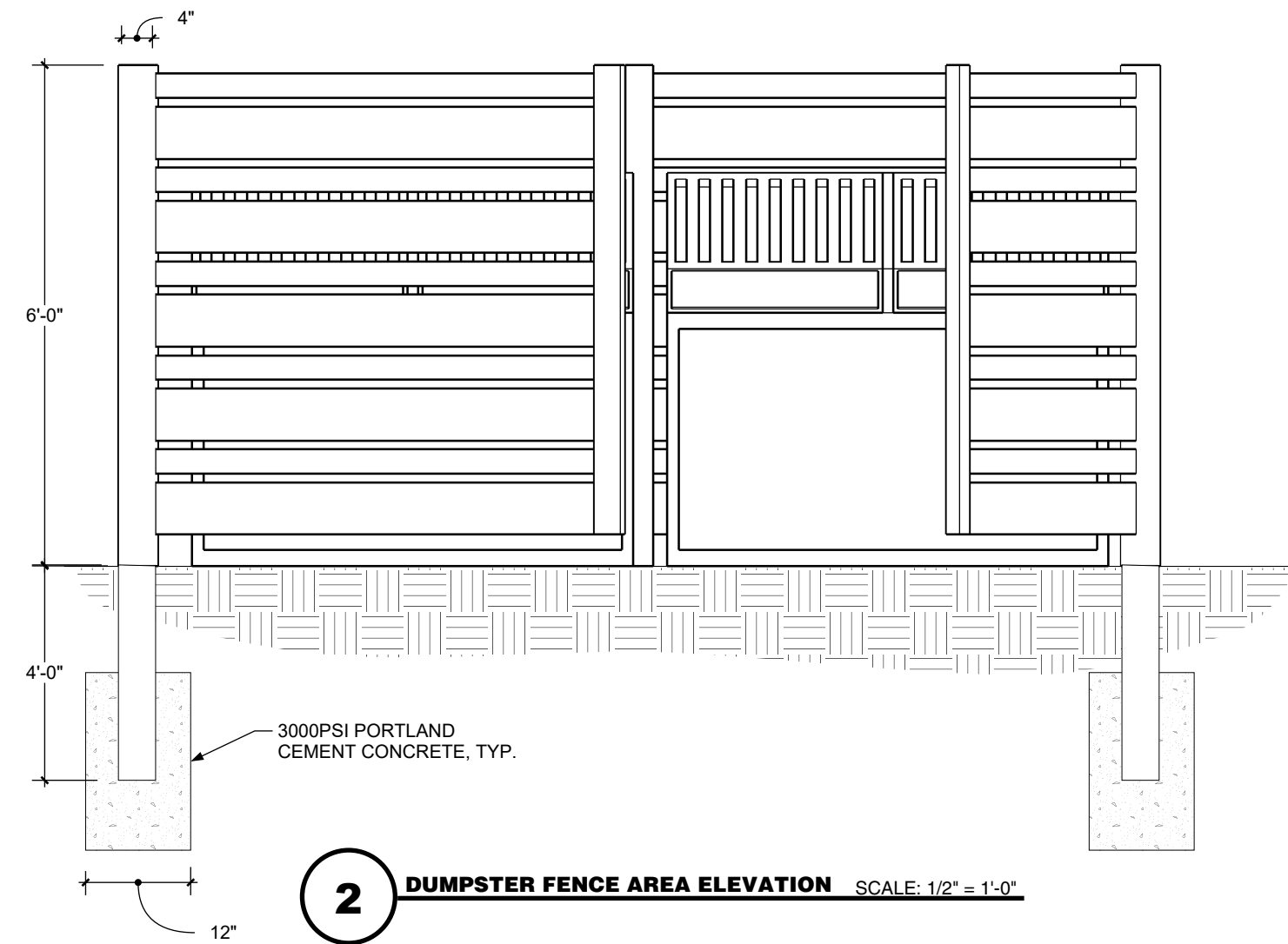
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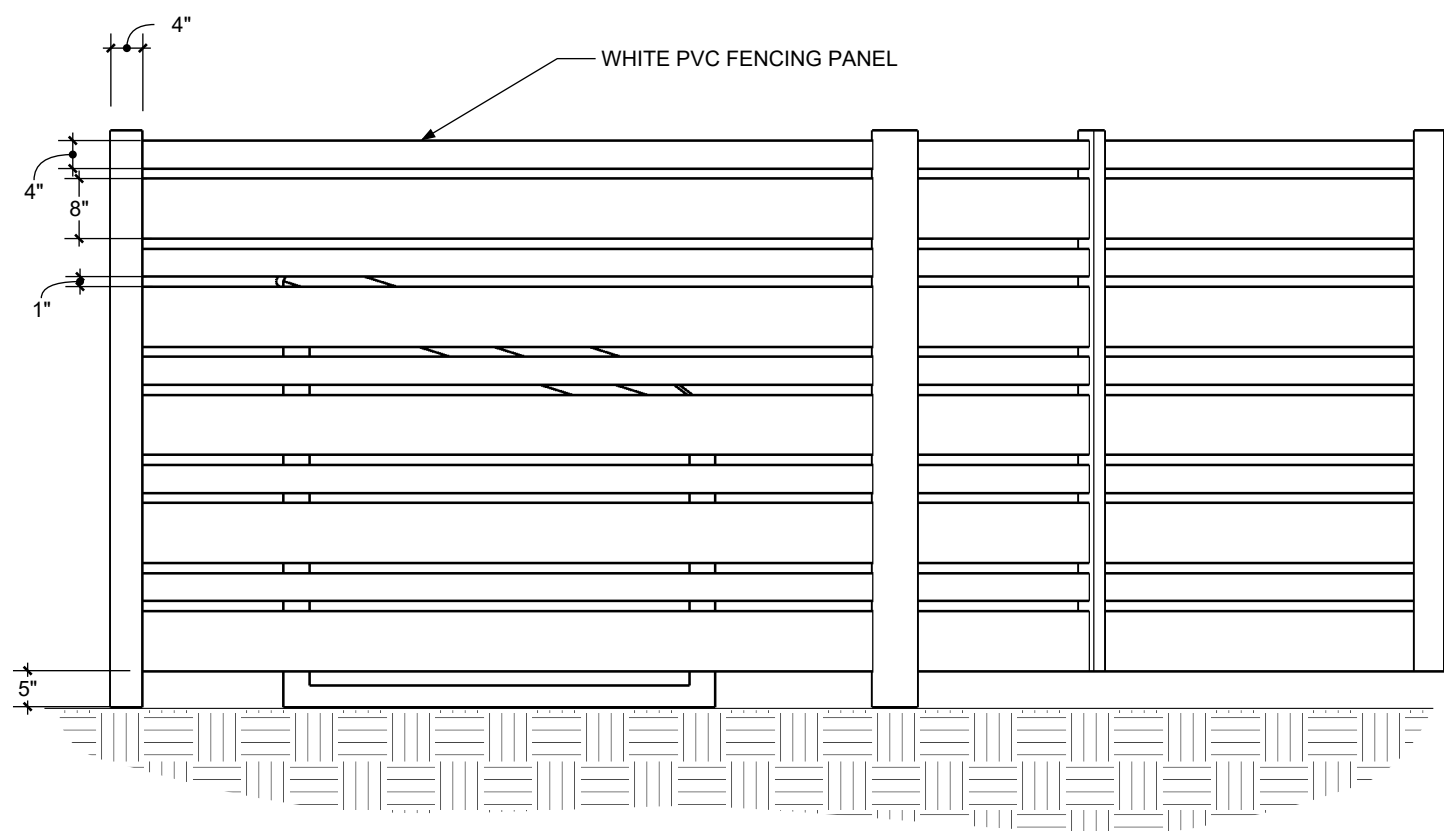
**SEWER & BASIN
DETAILS**



1 DUMPSTER FENCE AREA PLAN SCALE: 1/2" = 1'-0"



2 DUMPSTER FENCE AREA ELEVATION SCALE: 1/2" = 1'-0"



3 DUMPSTER FENCE AREA ELEVATION SCALE: 1/2" = 1'-0"



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**DUMPSTER AREA
DETAILS**

GENERAL NOTES

- CONSTRUCTION SHALL CONFORM TO THE RESIDENTIAL BUILDING CODE OF NEW YORK STATE, FIRE CODE AND PROPERTY MAINTENANCE CODE OF NEW YORK STATE, PLUMBING CODE, MECHANICAL CODE & FUEL GAS CODE OF NEW YORK STATE; ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE & ICC/ANSI A 117.1-2009
- IT IS THE CONTRACTORS RESPONSIBILITY TO INSPECT AND ASSESS THE PROJECT AND TO FILL THE INTENT OF THE WORK INDICATED BY THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS WITHIN THE CONTRACT LIMITS. DEVIATIONS FROM THE CONTRACT DOCUMENTS NECESSITATED BY FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- IN THE EVENT OF A MATERIAL CONFLICT SPECIFICATIONS SHALL TAKE PRECEDENT OVER DRAWINGS.
- IN EVENT OF A DIMENSIONAL CONFLICT DRAWINGS TAKE PRECEDENT OVER SPECIFICATIONS. CONSTRUCTION METHODS AND CRAFTSMANSHIP ARE THE RESPONSIBILITY OF THE CONTRACTOR WITH ALL LOCAL, STATE & FEDERAL CODES & REGULATIONS.
- FINISH MATERIAL SELECTION BY OWNER & ARCHITECT UNLESS OTHERWISE SPECIFIED.
- DO NOT SCALE DRAWINGS. REFER TO WRITTEN TEXT AND DIMENSIONS FOR INFORMATION. THE CONTRACTOR AND SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS AND JOB CONDITIONS AT THE JOB SITE SUFFICIENTLY IN ADVANCE OF THE WORK TO BE PREFORMED TO ASSURE THE ORDERLY PROGRESS OF THE WORK.
- CONTRACTORS SHALL MAINTAIN THE PREMISES CLEAN AND FREE OF ALL TRASH, DEBRIS AND SHALL PROTECT ALL ADJACENT WORK FROM DAMAGE, SOILING, PAINT OVER SPRAY, ETC. ALL FIXTURES, EQUIPMENT, GLAZING, FLOORS, ETC. SHALL BE LEFT CLEAN AND READY FOR OCCUPANCY UPON COMPLETION OF THE PROJECT.
- THE CONTRACTOR SHALL MAKE NO STRUCTURAL CHANGES WITHOUT WRITTEN APPROVAL FROM THE ARCHITECT/ENGINEER. CONSTRUCT LANDING/STOOP @ DOORWAYS, 5' x 5' (min.). 1:48 (max.) SLOPE. PORCHES PITCH AWAY FROM BUILDING (1:48 MAX SLOPE) AND SIDEWALKS 1:20 (MAX SLOPE).
- DETAILS NOT SPECIFICALLY SHOWN SHALL BE SIMILAR TO THOSE SHOWN FOR THE MOST NEARLY SIMILAR CONDITION AS DETERMINED BY THE ARCHITECT OR ENGINEER.
- ALL WOOD FRAMING MEMBERS EXPOSED TO THE ELEMENTS, OR IN CONTACT WITH THE EARTH, CONCRETE OR MASONRY SHALL BE PRESSURE TREATED LUMBER.
- THE CONTRACTOR SHALL PROVIDE ADEQUATE SUPPORTS AND OR BLOCKING MATERIAL IN WALLS FOR EQUIPMENT / CABINETS / ACCESSORIES ATTACHED THERETO.
- PROVIDE AND INSTALL FLASHING AT ALL ROOF TO WALL CONNECTIONS. THROUGH WALL PENETRATIONS, PROJECTIONS, OPENINGS AND ELSEWHERE TO PROVIDE WATERTIGHT / WEATHERPROOF EXTERIOR SKIN.
- PROVIDE AND INSTALL BATT INSULATION AT WINDOW SHIM LOCATIONS. FIT INSULATION TIGHT WITHIN SPACES AND TIGHT TO AND BEHIND MECHANICAL, PLUMBING AND ELECTRICAL SERVICES. LEAVE NO GAPS OR VOIDS.
- THE PERIMETERS OF ALL SINKS, WATER CLOSETS AND COUNTERTOPS SHALL BE SEALED AT FLOOR AND WALL CONNECTIONS.
- INSTALL ELASTOMERIC SEALANTS AND BACKER ROD (AS REQUIRED) AT ALL EXTERIOR JOINTS, WINDOW NAILING FINNS AND ELSEWHERE AS REQUIRED TO PROVIDE A POSITIVE BARRIER AGAINST MOISTURE AND AIR INFILTRATION
- THE FOLLOWING SHALL BE CONSIDERED HAZARDOUS LOCATIONS FOR THE PURPOSE OF GLAZING AND SAFETY GLAZING (TEMPERED GLASS) SHALL BE INSTALLED: GLAZING IN LOCATIONS SUBJECT TO HUMAN IMPACT SUCH AS SWINGING DOORS, FIXED AND SLIDING PANELS OF SLIDING GLASS DOOR ASSEMBLIES, STORM DOORS, UNFRAMED SWINGING DOORS, AND DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUB AND SHOWERS, SAFETY GLAZING SHALL BE INSTALLED IN ANY FIXED OR OPERABLE PANEL WITHIN A 2' ARC OF BOTH VERTICAL EDGES OF A DOOR IN A CLOSED POSITION IF THE GLAZING IS LESS THAN 60" ABOVE THE FLOOR OR WALKING SURFACES GLAZING SHALL ALSO BE INSTALLED WHEN: THE EXPOSED AREA OF AN INDIVIDUAL PANE IS GREATER THAN 9 s.f., EXPOSED BOTTOM EDGE IS LESS THAN 18" A.F.F., EXPOSED TOP EDGE IS GREATER THAN 36" A.F.F., A WALKING SURFACE IS WITHIN 36" HORIZONTALLY OF THE PLANE OF GLAZING AND ANY GLAZING WITHIN A STAIRWELL, INCLUDING DOORS. SAFETY GLAZING SHALL ALSO BE INSTALLED IN RAILINGS REGARDLESS OF AN AREA OR HEIGHT ABOVE A WALKING SURFACE. INCLUDED ARE STRUCTURAL BALUSTER PANELS AND NONSTRUCTURAL IN-FILL PANELS. SAFETY GLAZING IS REQUIRED ADJACENT TO STAIRWAYS, LANDINGS AND RAMPS WITHIN 36 INCHES HORIZONTALLY OF A WALKING SURFACE WHEN THE EXPOSED SURFACE OF GLASS IS LESS THAN 60 INCHES ABOVE THE PLANE OF ADJACENT WALKING SURFACE. ALSO REQUIRED ADJACENT TO STAIRWAYS WITHIN 60 INCHES HORIZONTALLY OF THE BOTTOM TREAD OF A STAIRWAY IN ANY DIRECTION WHEN THE EXPOSED SURFACE OF THE GLASS IS LESS THAN 60 INCHES ABOVE THE NOSE OF THE TREAD.
- CHANGES IN FLOOR LEVEL OF 1/4" OR LESS SHALL BE PERMITTED WITHOUT EDGE TREATMENT. CHANGES IN LEVEL BETWEEN 1/4" HIGH MINIMUM AND 1/2" HIGH MAXIMUM SHALL BE BEVELED WITH A SLOPE NOT STEEPER THAN 1:2.
- ALL DOOR AND WINDOWS OPENING TO THE EXTERIOR OR TO UNCONDITIONED AREAS SHALL BE FULLY WEATHER STRIPPED, GASKETED OR OTHERWISE TREATED TO LIMIT AIR INFILTRATION. ALL MANUFACTURED WINDOWS SHALL MEET THE AIR INFILTRATION STANDARDS OF A.S.T.M. E283.
- PROVIDE AND INSTALL GYPSUM WALLBOARD IN CONFORMANCE WITH "AMERICAN STANDARD SPECIFICATIONS FOR THE APPLICATION AND FINISHING OF GYPSUM WALLBOARD", AS APPROVED BY THE AMERICAN STANDARDS ASSOCIATION. PROVIDE AND INSTALL MOISTURE-RESISTANT GYPSUM WALLBOARD TYPE VII, GRADE W OR X AS REQUIRED, CLASS 2, AT ALL BATHROOMS AND DAMP LOCATIONS.
- READY MIXED PAINT SHALL NOT BE THINNED OR WATERED. ALL EXTERIOR AND INTERIOR SURFACES, INCLUDING DOOR TOPS AND BOTTOMS, SHALL BE PRIMED AND PAINTED OR STAINED / SEALED EXCEPT FACTORY FINISHED SURFACES. ALL SURFACES TO BE FINISHED SHALL BE CLEANED AND FREE OF DEBRIS (DIRT, GREASE, ASPHALT, RUST, ETC.). APPLICATION SHALL BE IN A WORKMANLIKE MANNER PROVIDING A SMOOTH SURFACE APPLICATION RATE SHALL BE THAT RECOMMENDED BY THE MANUFACTURER. APPLICATION MAY BE BY BRUSH, ROLLER OR SPRAY IF PAINT IS FORMULATED FOR SUCH APPLICATION. GYPSUM WALLBOARD FINISH COAT SHALL BE ROLLER APPLIED
- ALL ROOF PENETRATIONS OF FLUES, VENTS, CAPS, HOODS, ETC. TO BE PRIMED & SPRAY-PAINTED TO MATCH ROOF COLOR.
- PROVIDE KITCHEN ACCESSORIES, BATH ACCESSORIES, HARDWARE WINDOW TREATMENTS, AND MISCELLANEOUS ITEMS PER OWNER'S SCHEDULE AND SPECIFICATIONS. ALL ITEMS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE RESPECTIVE MANUFACTURER'S INSTRUCTIONS AND APPROVED INSTALLATION DRAWINGS.
- INSTALL FLASHING SYSTEM AT WINDOW LOCATIONS. INSTALL STRAIGHTFLASH FOR JAMBS AND HEADS, FLEXWRAP FOR SILL PROTECTION. CAULK NAILING FINNS.
- FIREBLOCKING SHALL BE INSTALLED TO CUT OFF CONCEALED DRAFT OPENINGS, BOTH VERTICAL AND HORIZONTAL AND SHALL FORM AN EFFECTIVE BARRIER BETWEEN FLOORS, A TOP STORY AND A ROOF OR ATTIC. FIREBLOCKING SHALL BE INSTALLED IN CONCEALED WALL SPACES OF STUD WALL PARTITIONS, INCLUDING FURRED SPACES, AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS AS FOLLOWS: VERTICALLY AT CEILINGS AND FLOORS LEVELS AND HORIZONTALLY AT INTERVALS NOT EXCEEDING 10-FT.
- FIREBLOCKING SHALL BE PROVIDED AT INTERCONNECTIONS BET. VERTICAL STUD WALL AND CONCEALED HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS, AND FLOOR ASSEMBLIES. FIREBLOCKING SHALL BE PROVIDED AT CONCEALED SPACES BET. STAIR STRINGERS AT TOP AND BOTTOM OF RUN.

ABBREVIATIONS

A/C	AIR CONDITIONING	GC	GENERAL CONTRACTOR
A/E	ARCHITECT/ENGINEER	LL	LIVE LOAD
ADA	AMERICANS WITH DISABILITIES ACT	MFR	MANUFACTURER
AFF	ABOVE FINISHED FLOOR	MIR	MIRROR
CH	CEILING HEIGHT	NA	NOT APPLICABLE
CLG	CEILING	NIC	NOT IN CONTRACT
CONC	CONCRETE	NL	NIGHT LIGHT
DL	DEAD LOAD	NTS	NOT TO SCALE
EM	EMERGENCY	OC	ON CENTER
EQ	EQUAL	RO	ROUGH OPENING
EWC	ELECTRIC WATER COOLER	SIM	SIMILAR
EXT	EXTERIOR	STD.	STANDARD
EXT	EXTINGUISHER	TYP	TYPICAL
FA	FIRE ALARM	U.N.O.	UNLESS NOTED OTHERWISE
FE	FIRE EXTINGUISHER	V.I.F.	VERIFY IN FIELD
F	FINISH OR FINISHED		
F.R.	FIRE RATED		
GWB	GYPSUM WALL BOARD		

CODE REVIEW NOTES

REVIEWED UNDER

2020 RESIDENTIAL CODE OF NEW YORK STATE (RCNYS)
APPENDIX Q OF RCNYS FOR TINY HOMES
2018 IECC (INTERNATIONAL ENERGY CONSERVATION CODE)
ADA STANDARDS FOR ACCESSIBLE DESIGN
SECTION 504 OF THE REHABILITATION ACT
LOCAL ZONING ORDINANCES (COMMERCIAL MIXED USE ZONE)

PROJECT CLASSIFICATION

NEW CONSTRUCTION AND EXISTING STRUCTURES
PHASED DEVELOPMENT (3 PHASES)

OCCUPANCY CLASSIFICATION

AS DEFINED IN R101.2 P OF THE NY RESIDENTIAL CODE

CONSTRUCTION TYPE CLASSIFICATION

TYPE V (UNPROTECTED WOOD FRAME)

BUILDING HEIGHTS AND OCCUPANCY AREA

ALLOWABLE:

HEIGHT: 3 STORIES/40'
AREA: MIN. 200 SF

ACTUAL:

HEIGHT: SINGLE UNIT HEIGHT: 20' 6" / DOUBLE UNIT HEIGHT: 25' 8"
AREA: SINGLE UNITS 275 SF / DOUBLE UNITS 550 SF

FIRE RATINGS FOR

DWELLING UNIT SEPARATION: 30 MINUTES (RCNYS 302.1)
CORRIDORS: N/A (SINGLE-STORY)
STAIR ENCLOSURES: N/A (SINGLE-STORY)

BUILDING ELEMENTS (FIRE RATINGS)

CONSTRUCTION TYPE: V
STRUCTURAL FRAME: 0 HR
INT. BEARING WALLS: 0 HR
EXT. BEARING WALLS: 0 HR
EXT. NON-BEARING WALLS: 0 HR
INT. NON-BEARING WALLS: 0 HR
FLOOR CONSTRUCTION: 0 HR
ROOF CONSTRUCTION: 0 HR

FIRE PROTECTION

SPRINKLER SYSTEM: NOT REQ'D PER [NY] R313.2
FIRE ALARM SYSTEM: PROVIDED
FIRE EXTINGUISHERS: TO BE PROVIDED (FCNYS 906)
1A EXTINGUISHERS TO BE PROVIDED IN COMMON AREAS
FINAL LOCATION TO BE COORDINATED AND APPROVED BY FIRE MARSHALL
PROVIDE SIGNAGE PER CODE

ADDITIONAL REQUIREMENTS

ACCESSIBILITY REQUIREMENTS PER ADA AND SECTION 504 FOR COMMON AREAS



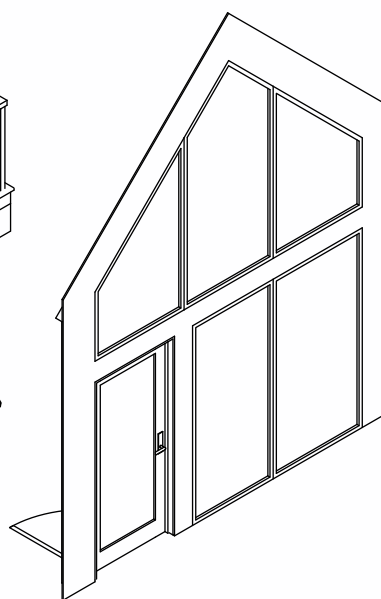
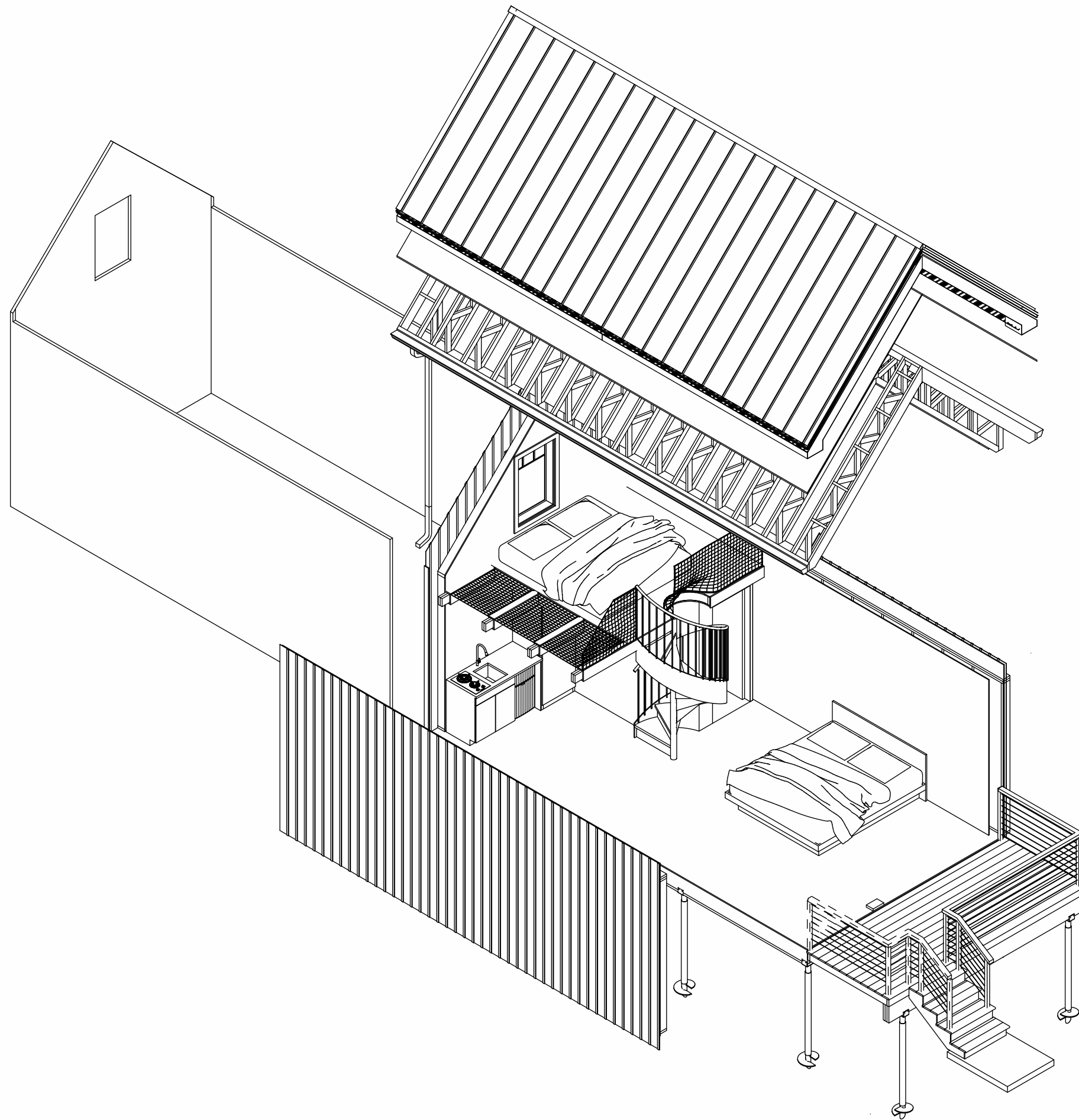
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PROJECT
PROJECT NO.
58

ISSUE
10.02.2023
DRAWN BY
Jaimie Gagné

GENERAL NOTES



TYPICAL SINGLE UNIT - GENERAL NOTES

UNIT DIMENSIONS

EACH SINGLE UNIT MEASURES EXTERNALLY AT 13'-4" IN WIDTH AND 25'-3" IN LENGTH, WITH AN APPROXIMATE FOOTPRINT OF 336 SF. MAXIMUM HEIGHT WILL VARY BUT SHALL NOT EXCEED 22'-6".

CONSTRUCTION

DESIGNED IN COMPLIANCE WITH 2020 IRC STANDARDS, THESE STRUCTURES SPECIFICALLY ADHERE TO APPENDIX Q OF THE NY RESIDENTIAL CODE.

ENERGY CODE

COMPLIANCE WITH THE 2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) IS STRICTLY MAINTAINED FOR ALL SINGLE UNITS.

UTILITIES

EACH UNIT FEATURES A UTILITY CHASE OR CLOSET, WHICH HOUSES A HOT WATER ON-DEMAND UNIT AND A 50-AMP ELECTRICAL PANEL.

HVAC

A 12K BTU HEAT PUMP SYSTEM IS INSTALLED IN EACH UNIT TO PROVIDE BOTH HEATING AND AIR CONDITIONING.

AMENITIES

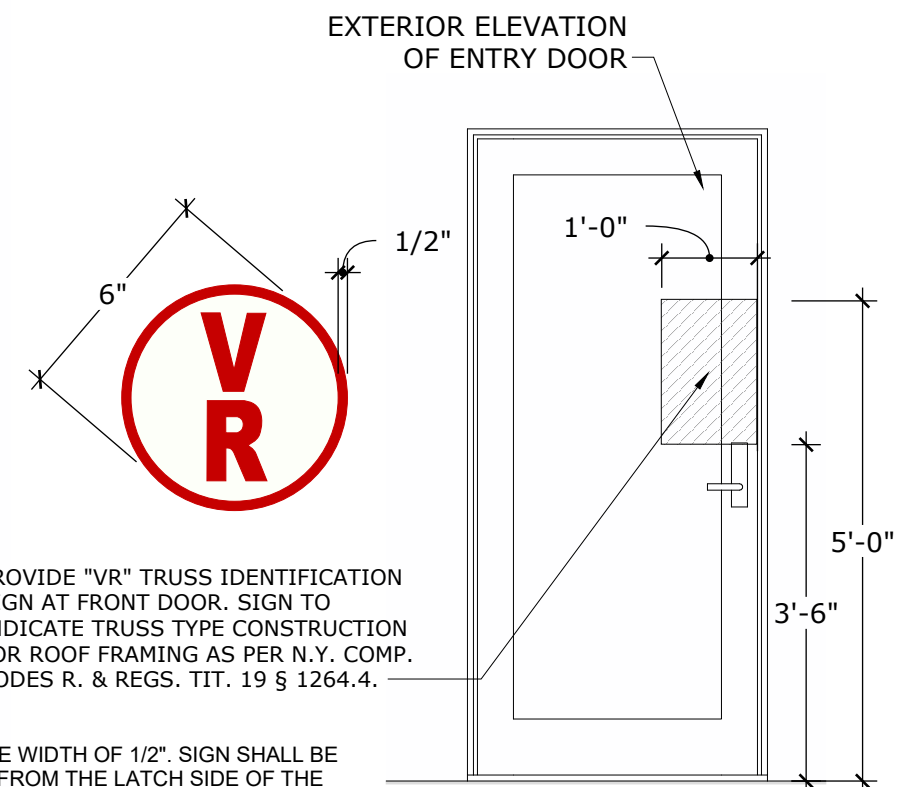
UNITS ARE EQUIPPED WITH A SLEEPING AREA, A LOFT SPACE WITH AN ADDITIONAL BED, A BATHROOM, AND A KITCHENETTE.

SEPARATION

A MINIMUM OF 10-FOOT SEPARATION IS MAINTAINED BETWEEN EACH UNIT AND ADJACENT BUILDINGS ON THE PROPERTY.

USAGE

THESE UNITS ARE PRIMARILY DESIGNED FOR SHORT-TERM OCCUPANCY.



PROVIDE "VR" TRUSS IDENTIFICATION SIGN AT FRONT DOOR. SIGN TO INDICATE TRUSS TYPE CONSTRUCTION FOR ROOF FRAMING AS PER N.Y. COMP. CODES R. & REGS. TIT. 19 § 1264.4.

NOTE

SIGN SHALL BE 6" IN DIAMETER WITH A STROKE WIDTH OF 1/2". SIGN SHALL BE AFFIXED NOT MORE THAN 12" HORIZONTALLY FROM THE LATCH SIDE OF THE DOOR JAMB AND NOT LESS THAN 42" NOR MORE THAN 60" ABOVE THE ADJOINING WALKING SURFACE. BACKGROUND TO BE REFLECTIVE WHITE. CIRCLE AND CONTENTS TO BE REFLECTIVE RED (PMS #187).



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**TYPE SGL
NEW SINGLE
OCCUPANCY UNIT**



J&G DESIGN
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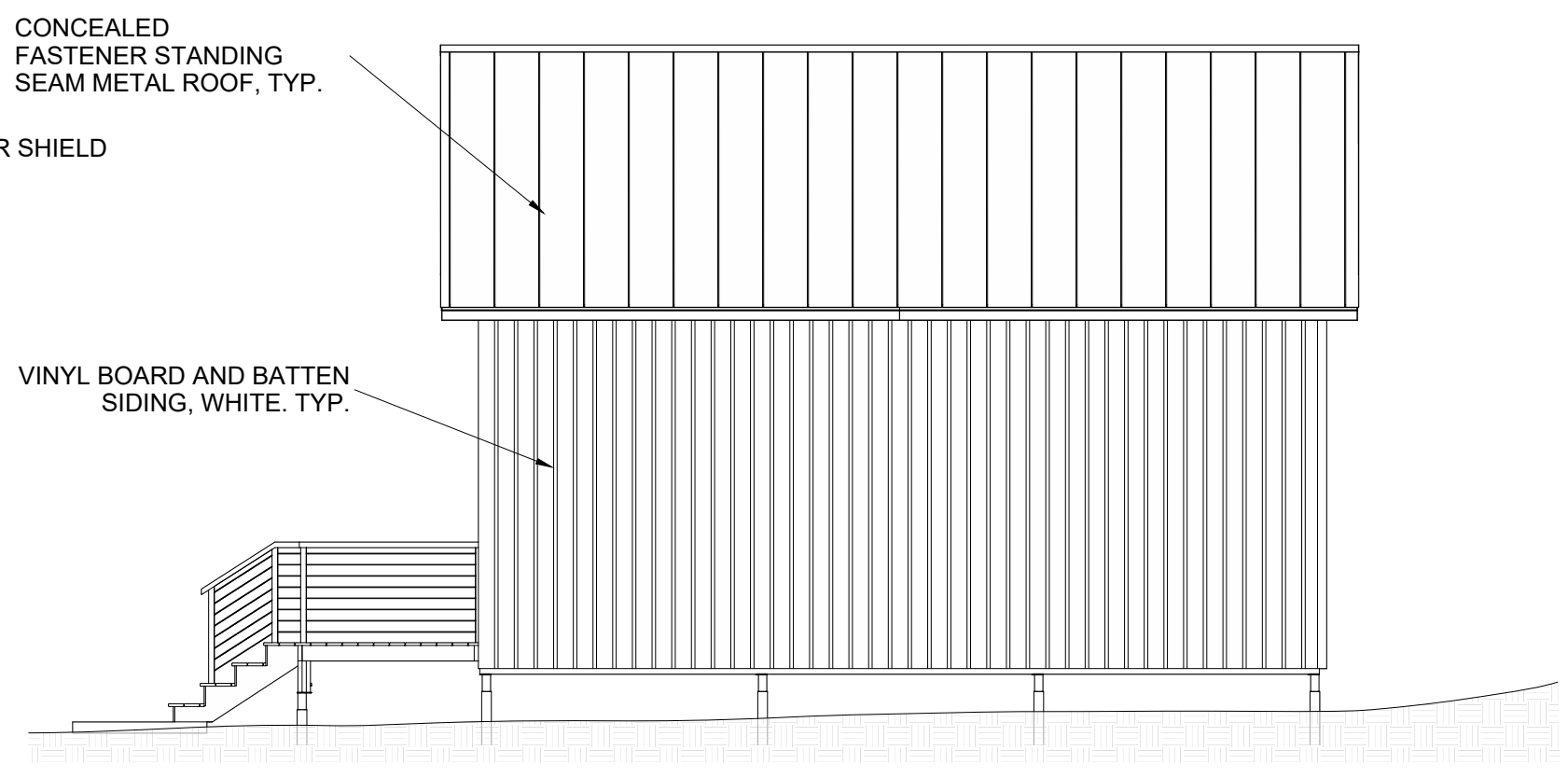
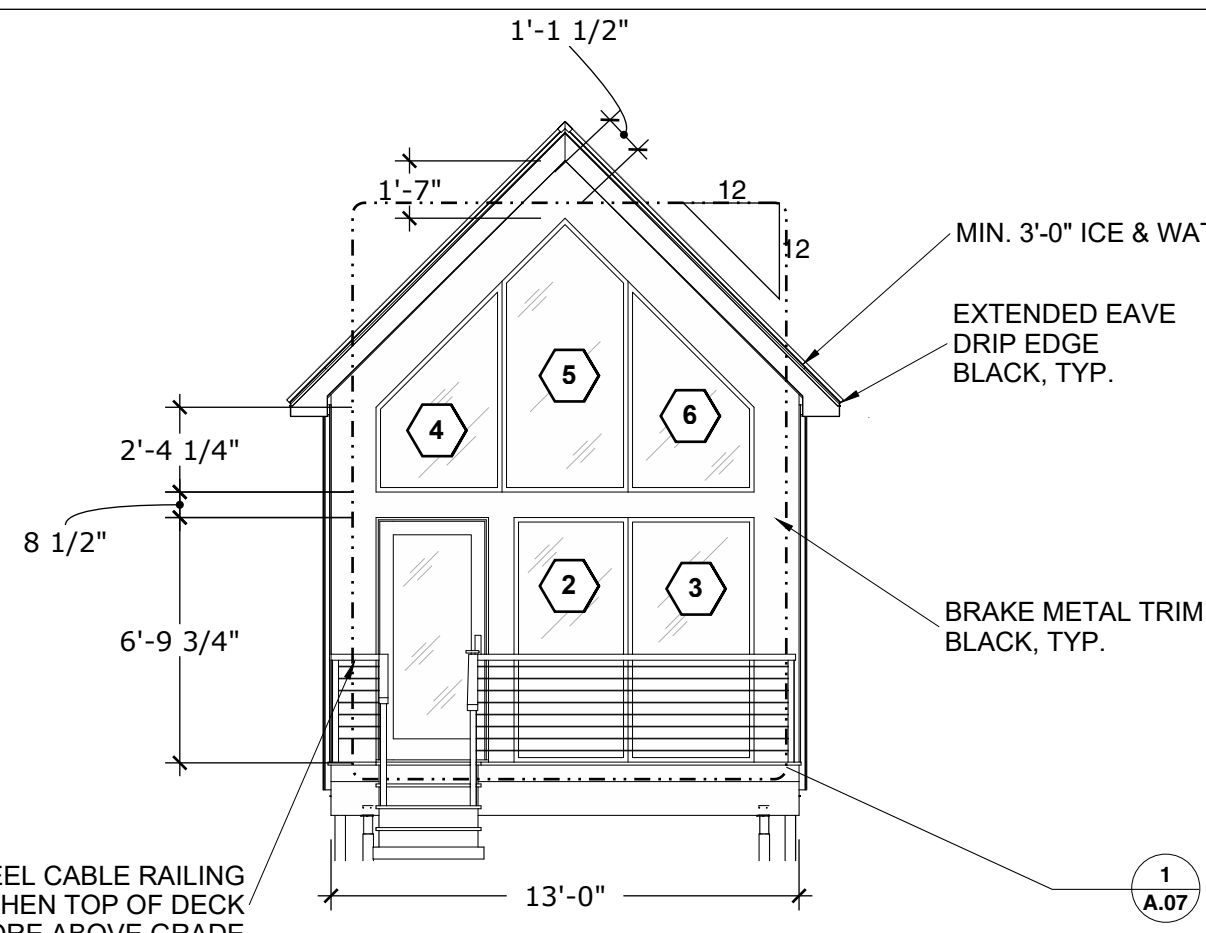
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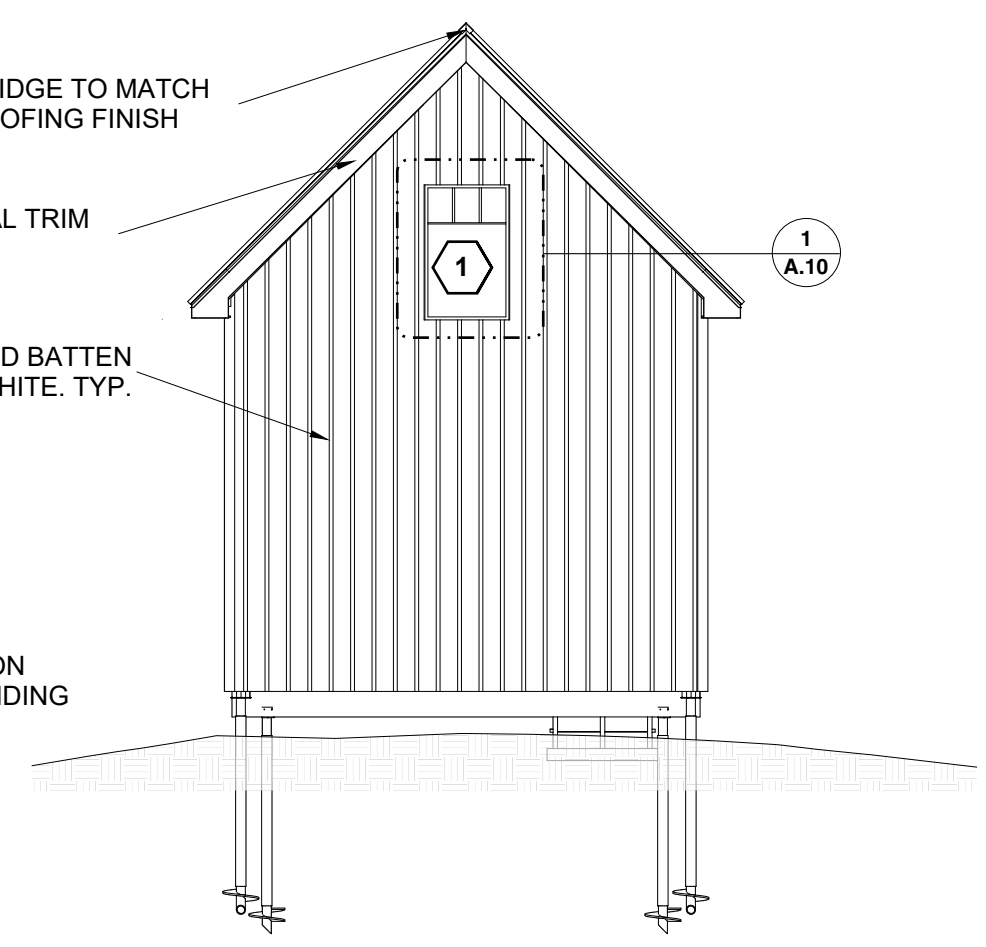
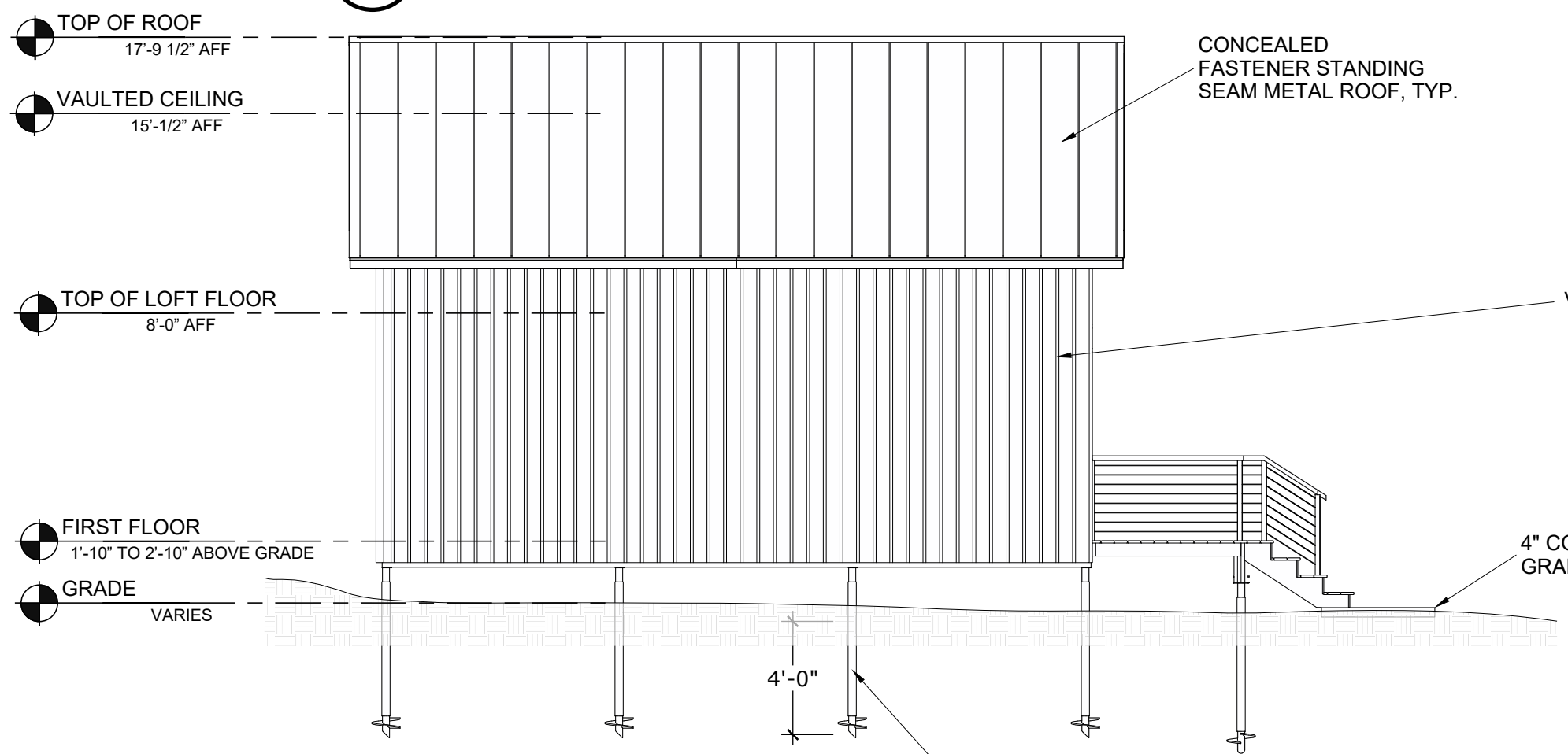
SGL ELEVATIONS

A.03



1 NORTH ELEVATION, TYP. SCALE: 3/16" = 1'-0"

2 WEST ELEVATION, TYP. SCALE: 3/16" = 1'-0"



3 EAST ELEVATION, TYP. SCALE: 3/16" = 1'-0"

4 SOUTH ELEVATION, TYP. SCALE: 3/16" = 1'-0"

HEIGHT OF STRUCTURES ABOVE GRADE MAY VARY BETWEEN 19'-7 1/2" AND 20'-7 1/2" ABOVE GRADE



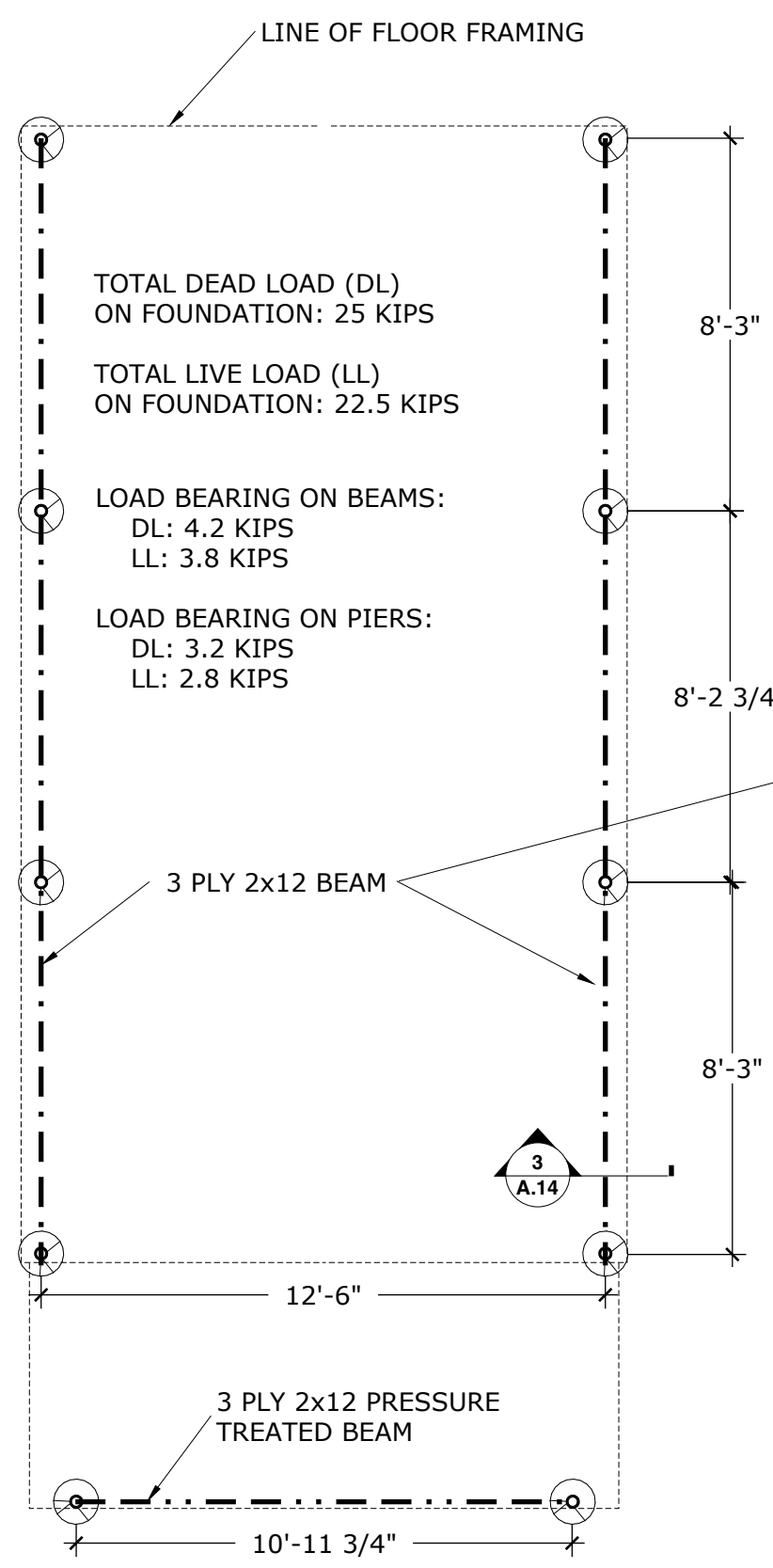
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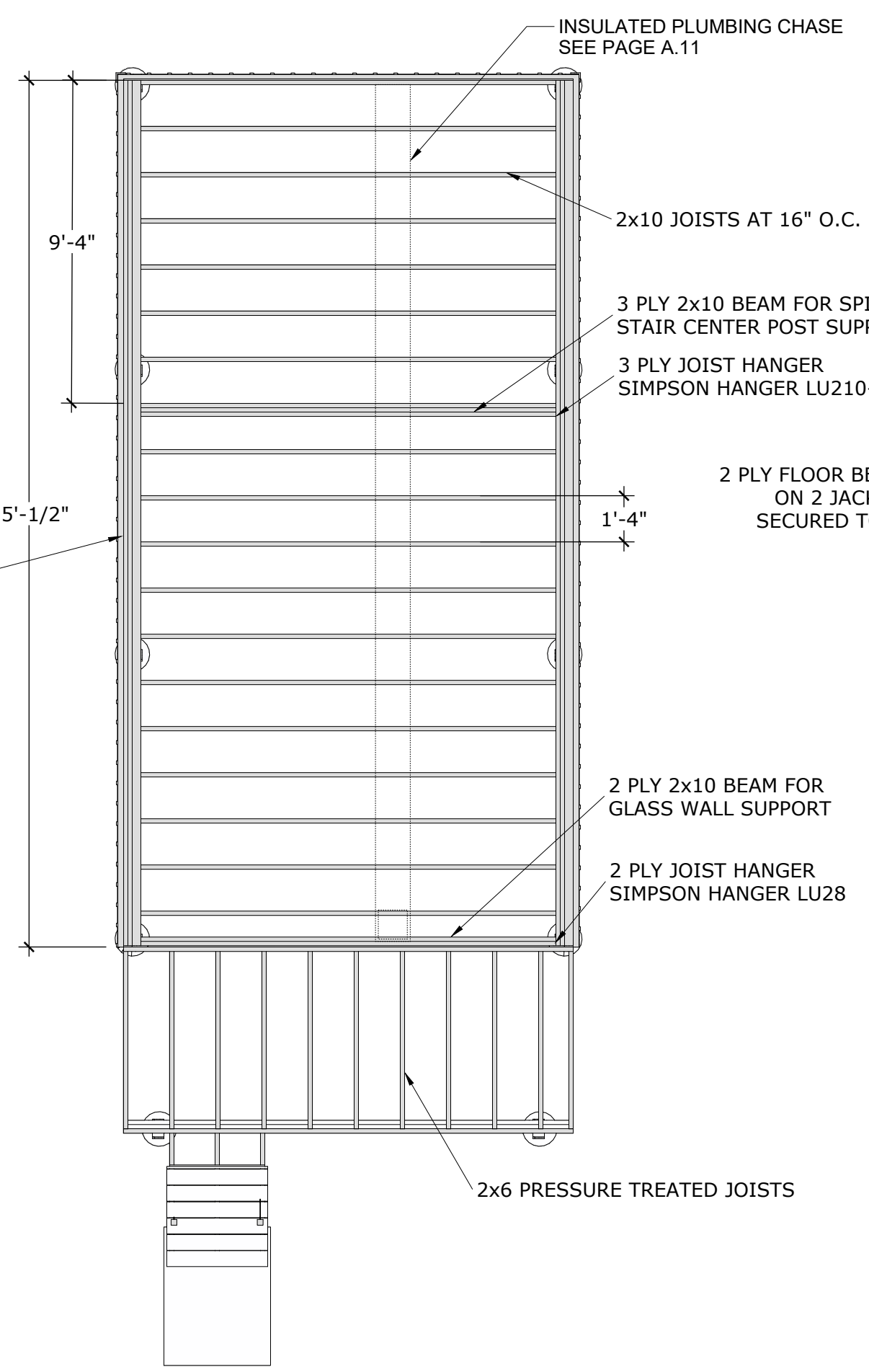
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SGL FOUNDATION &
FLOOR FRAMING
PLAN

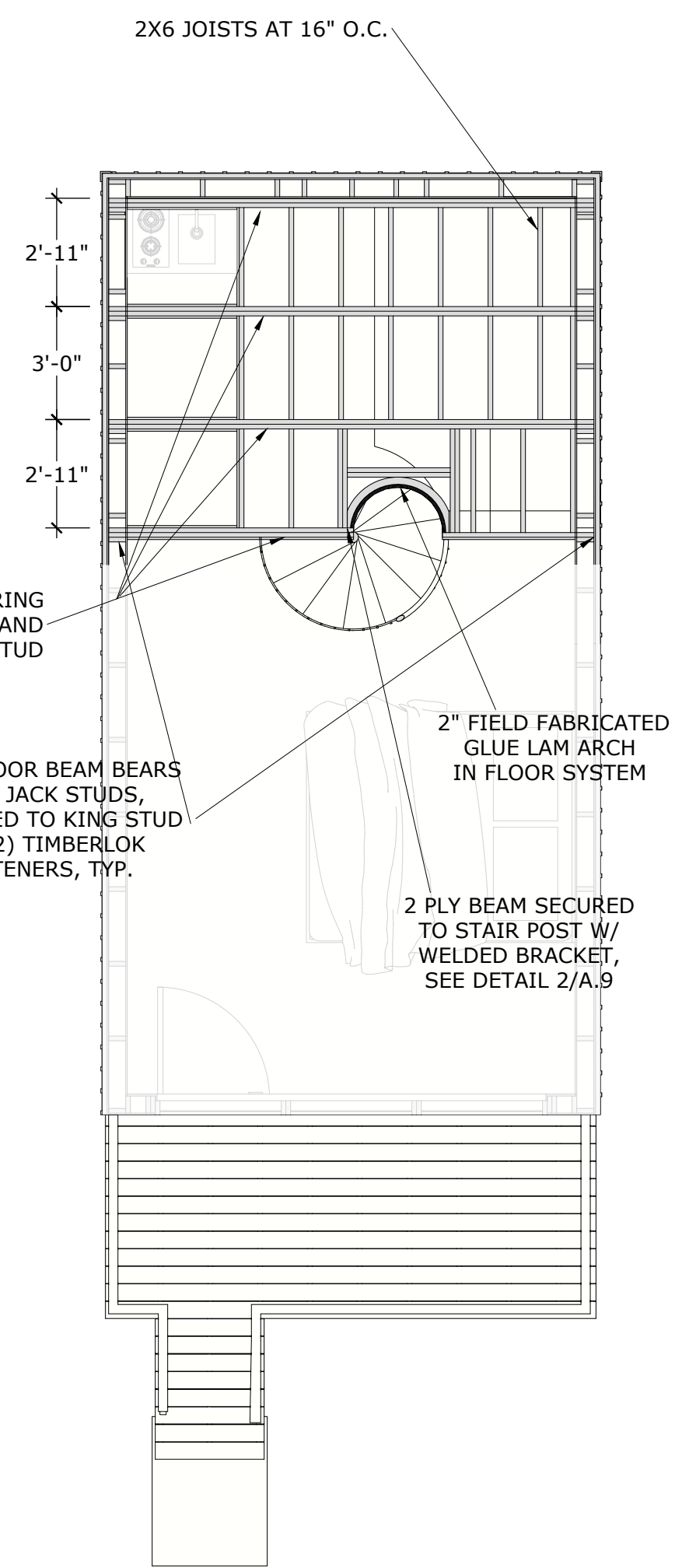


HELICAL PIER & BEAM FOUNDATION SYSTEM:
APPROXIMATE LOCATIONS SHOWN ON PLANS
ENGINEERED SPECIFICATIONS TO BE
SUPPLIED BY HELICAL PIER ENGINEER

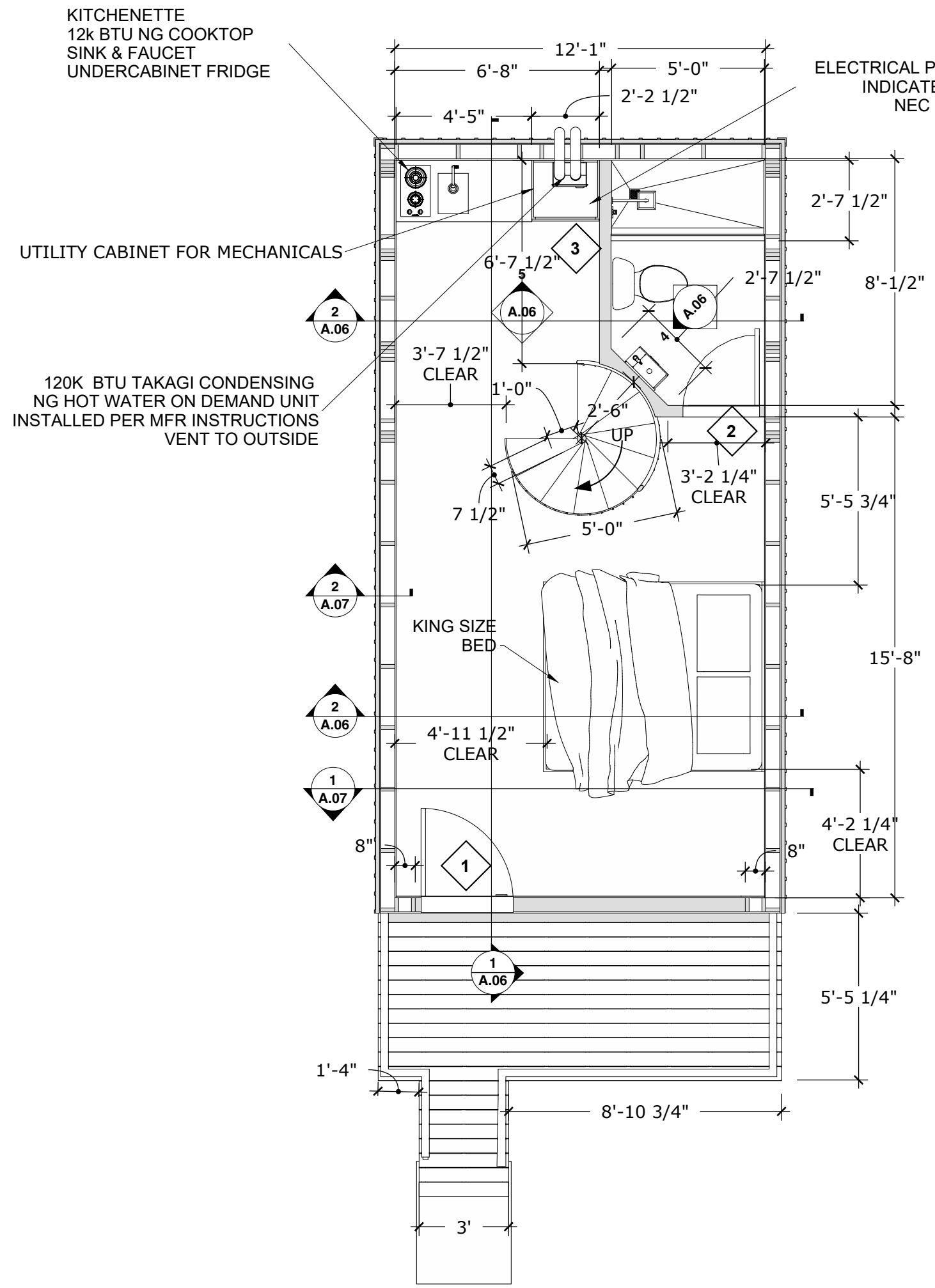
1 FOUNDATION PLAN SCALE: 1/4" = 1'-0"



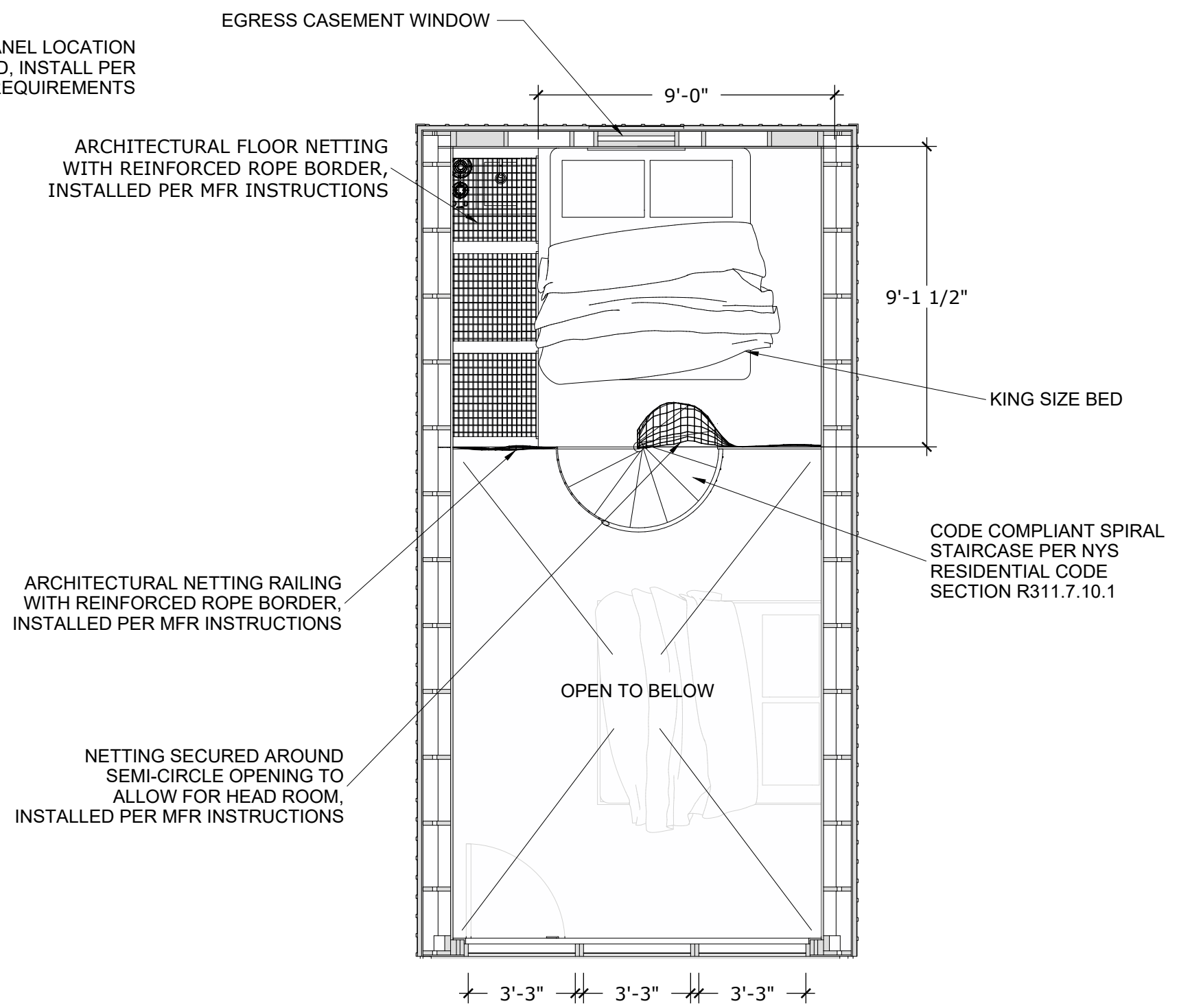
1 FIRST FLOOR FRAMING PLAN SCALE: 1/4" = 1'-0"



1 LOFT FLOOR FRAMING PLAN SCALE: 1/4" = 1'-0"



1 FIRST FLOOR PLAN SCALE: 1/4" = 1'-0"



2 LOFT PLAN SCALE: 1/4" = 1'-0"

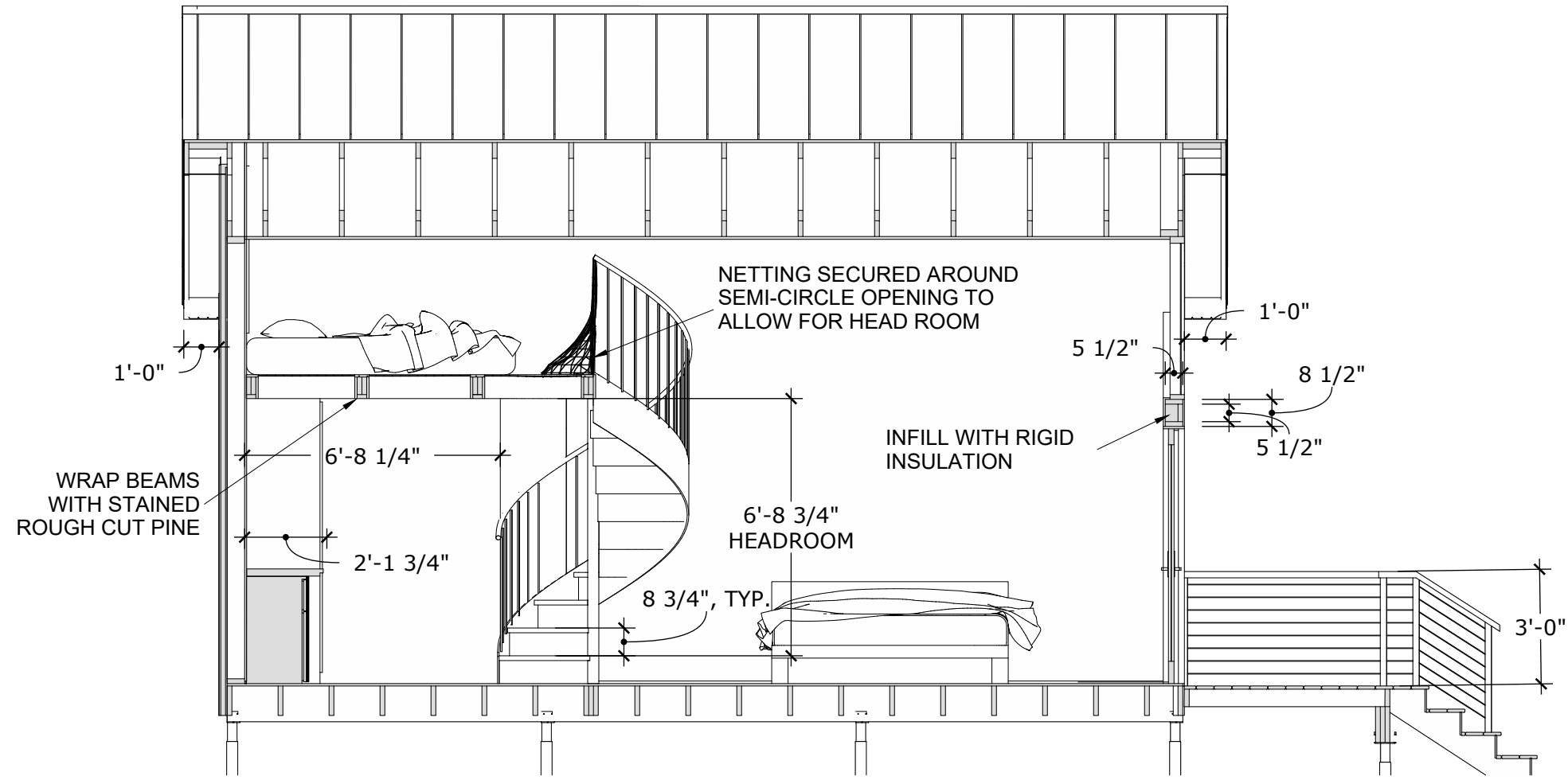
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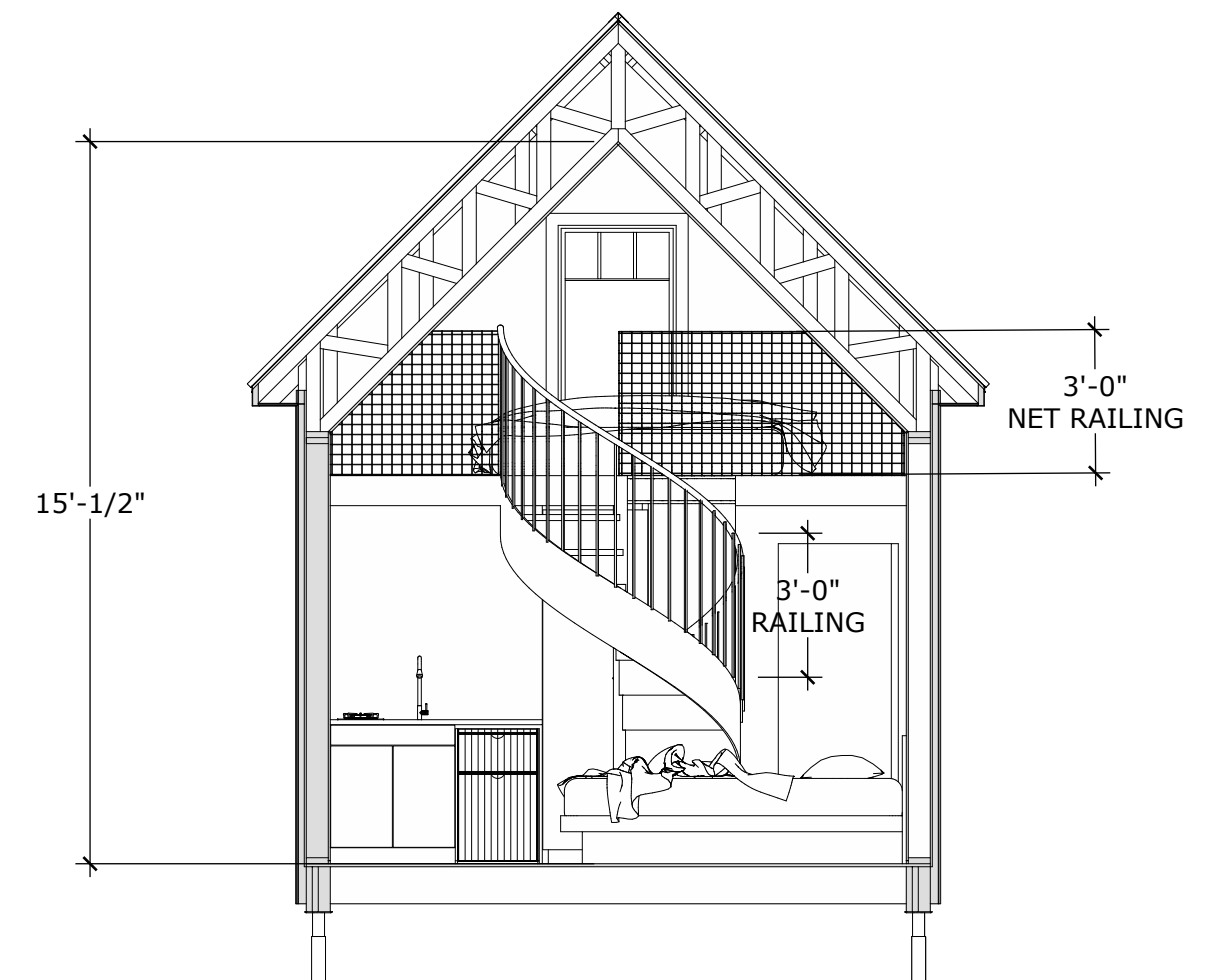
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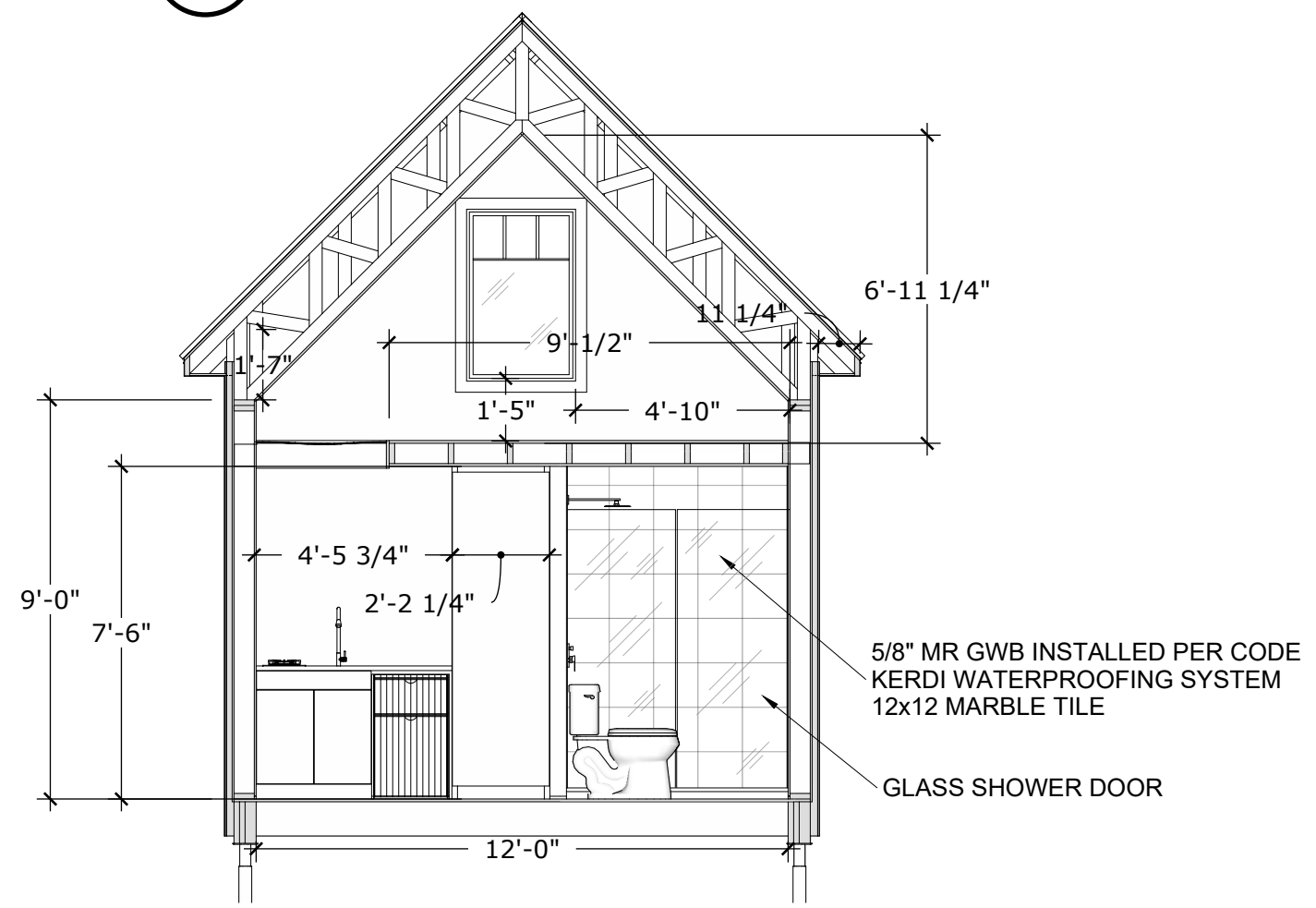
SGL FIRST FLOOR & LOFT PLAN



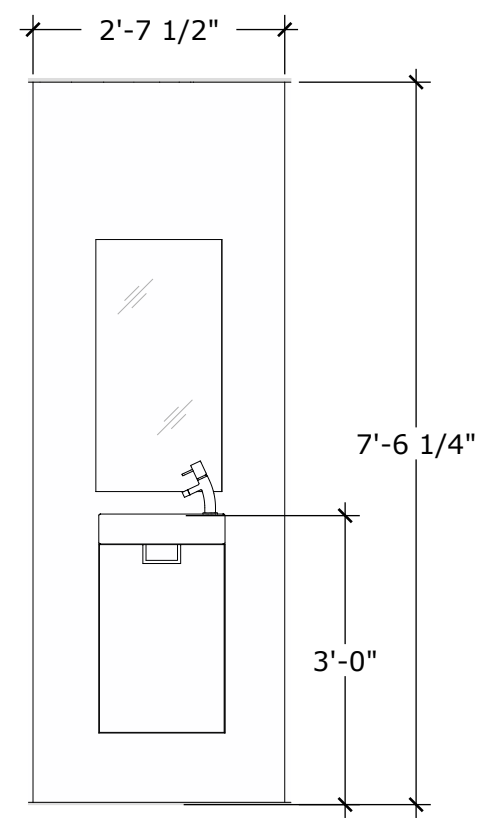
1 SECTION LOFT & STAIRS SCALE: 1/4" = 1'-0"



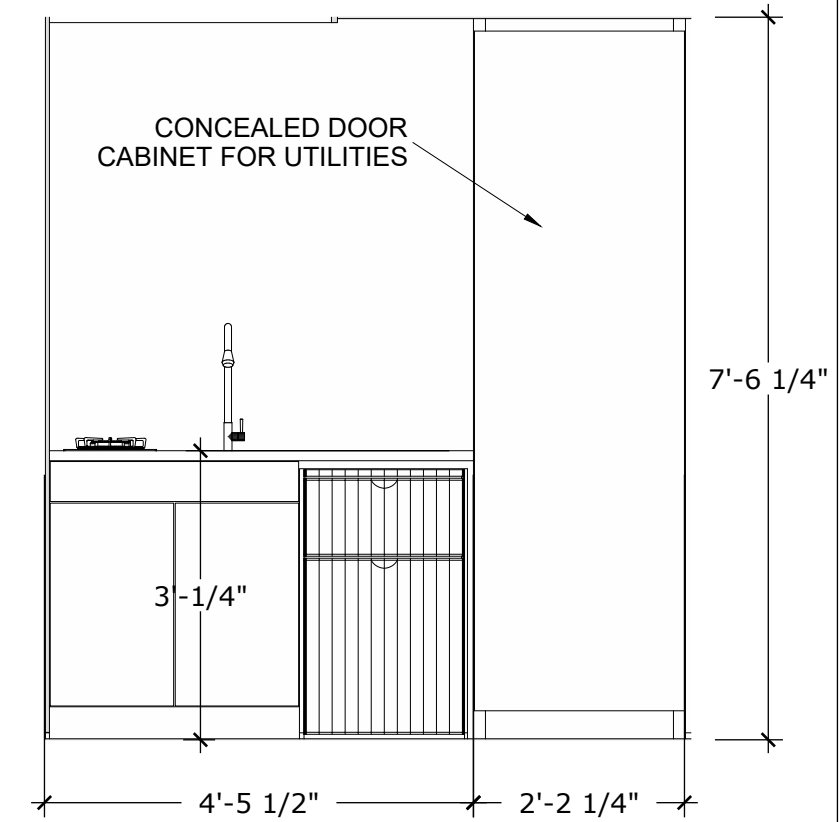
2 SECTION RAILING SCALE: 1/4" = 1'-0"



3 SECTION KITCHENETTE & BATH SCALE: 1/4" = 1'-0"



4 VANITY ELEVATION SCALE: 1/2" = 1'-0"



5 KITCHENETTE ELEVATION SCALE: 1/2" = 1'-0"

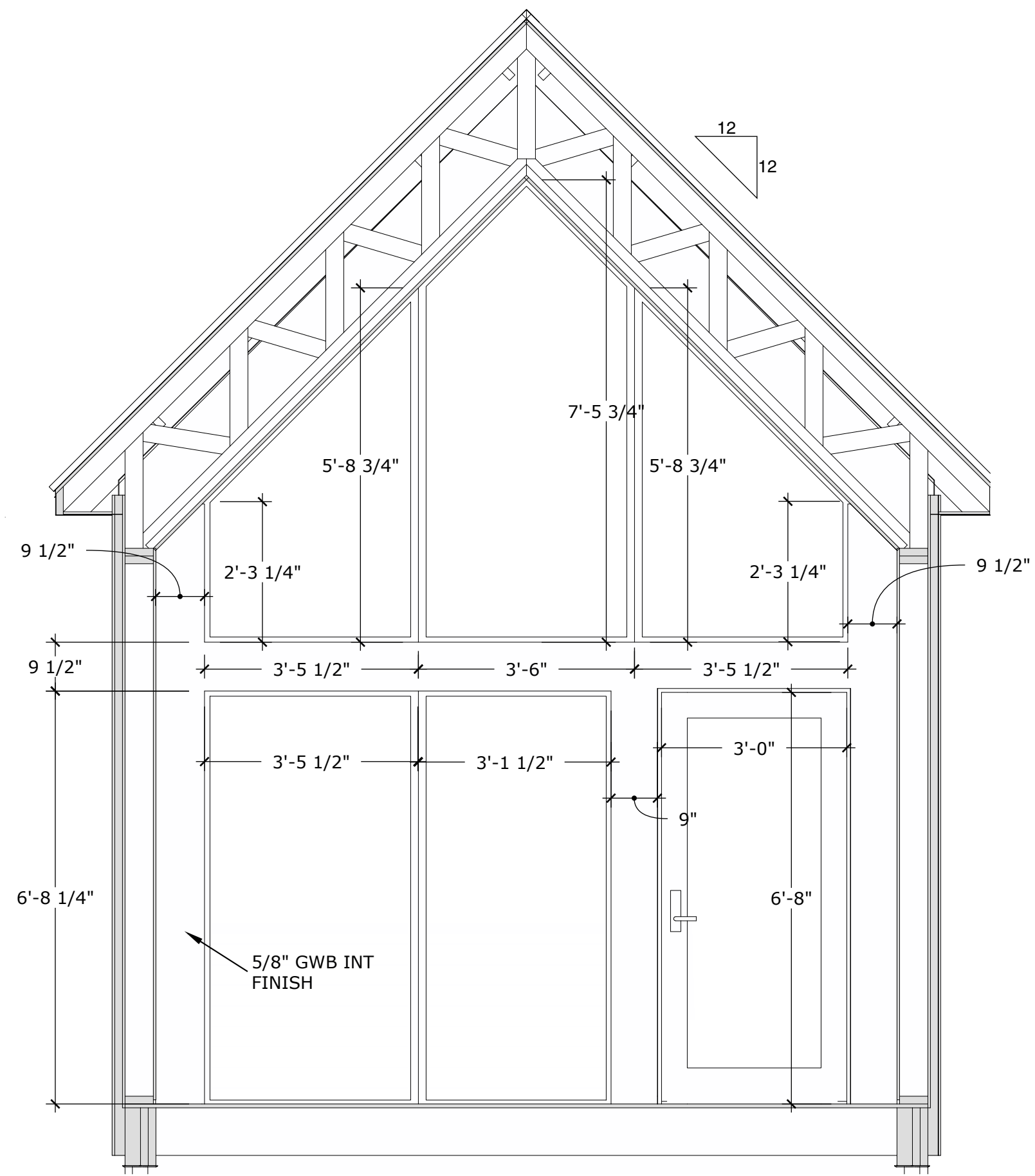
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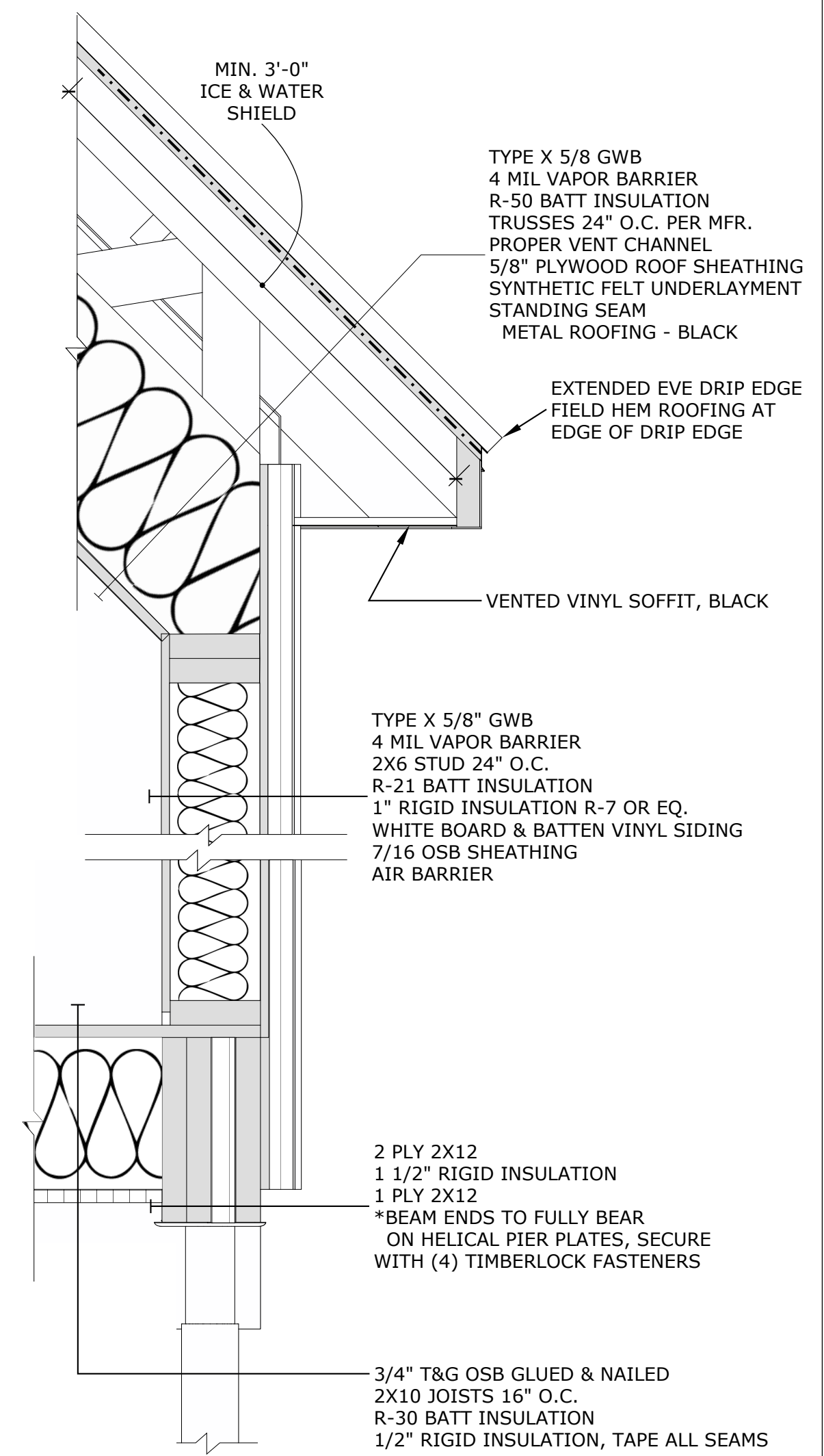
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SGL SECTIONS &
ELEVATIONS



1 GLASS WALL ELEVATION SCALE: 1/2" = 1'-0"



2 TYPICAL ENVELOPE SECTION SCALE: 1 1/2" = 1'-0"

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SGL ENVELOPE &
WINDOW DETAILS



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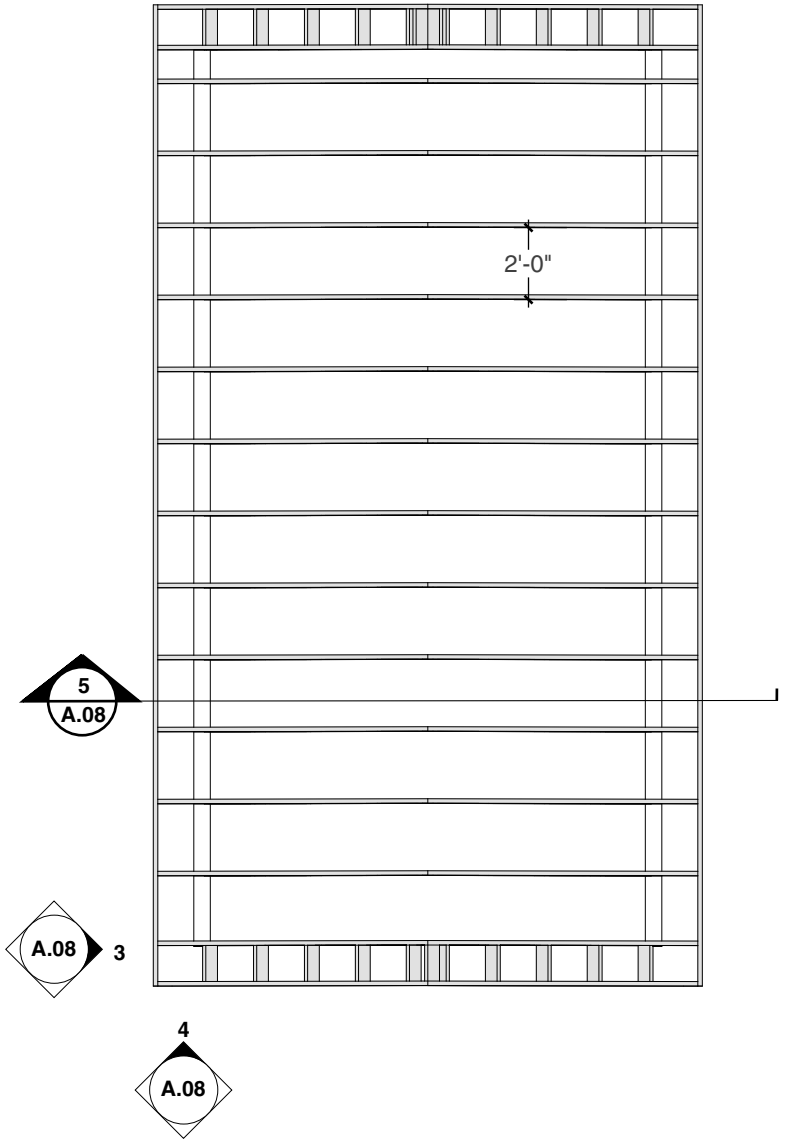
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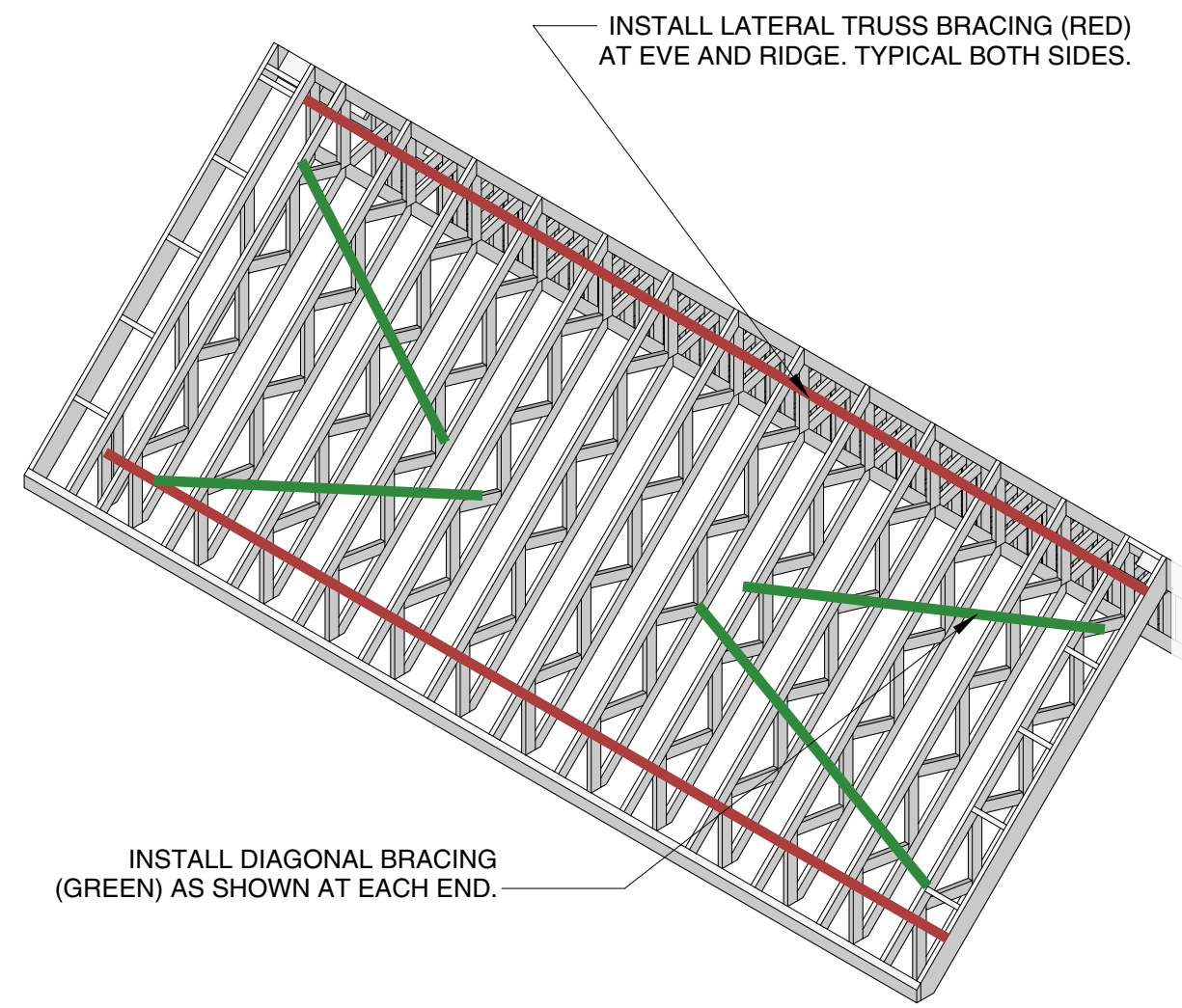
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SGL TRUSS DETAILS

A.08



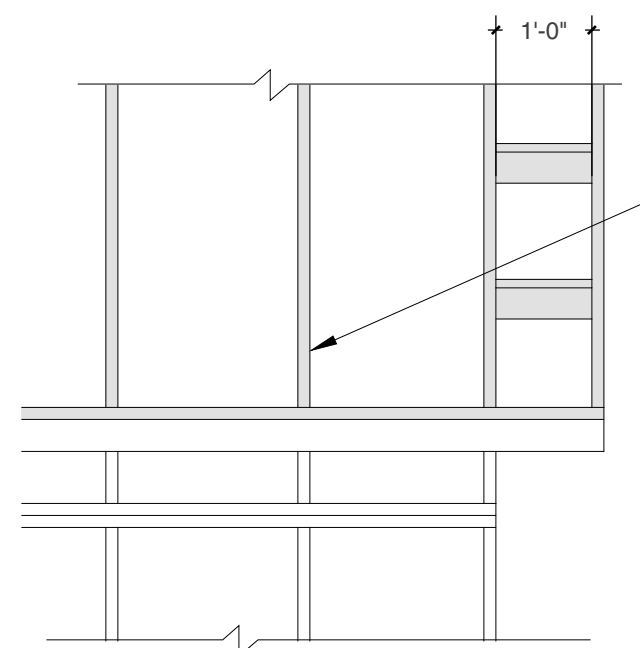
1 TRUSS PLAN SCALE: 3/16" = 1'-0"



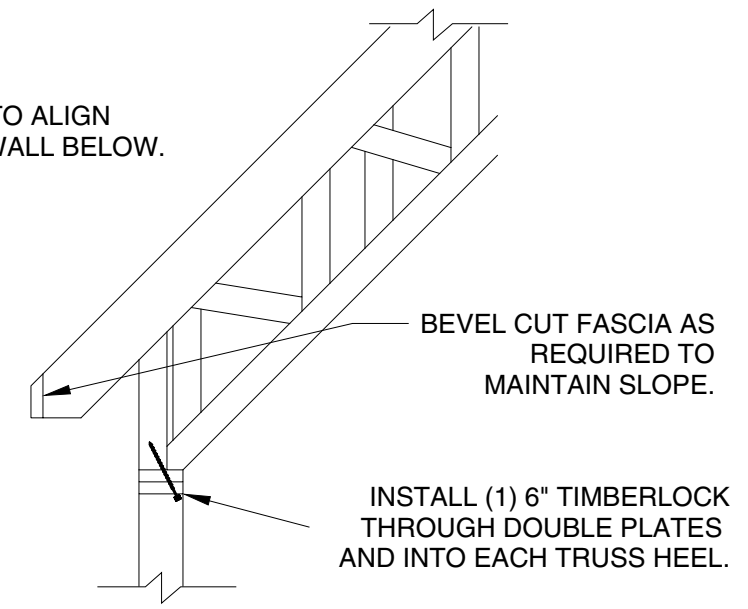
2 ISOMETRIC TRUSS BRACING SCALE: N.T.S.

TRUSSES GENERAL NOTES

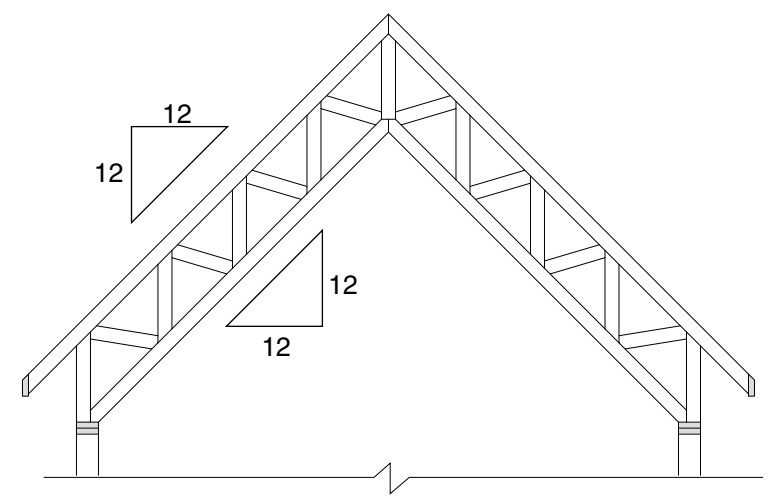
1. ALL TRUSSES TO BE PRE-FABRICATED AND DELIVERED TO SITE, UNLESS OTHERWISE NOTED.
2. ENSURE TRUSS LAYOUT IS IN ALIGNMENT WITH STUDS IN WALLS BELOW.
3. TRUSSES TO BE SPACED AT 24" O.C. UNLESS OTHERWISE SPECIFIED.
4. TRUSS DIAGRAMS ARE FOR ILLUSTRATIVE PURPOSES ONLY. FINAL TRUSS DESIGN SHALL BE IN ACCORDANCE WITH MANUFACTURER'S ENGINEERED DRAWINGS.
5. ALL TRUSSES SHALL BE SECURED WITH (1) 6" TIMBERLOCK THROUGH DOUBLE PLATES AND INTO EACH TRUSS HEEL.
6. INSTALL LATERAL TRUSS BRACING AT EAVES AND RIDGES, INSTALL DIAGONAL BRACING AS INDICATED AT EACH END OF THE TRUSS RUN.
7. OUTLOOKERS AND FASCIA TO BE FRAMED ON SITE USING 2x6 LUMBER.
8. FASCIA TO BE BEVEL CUT AS REQUIRED TO MAINTAIN SLOPE.
9. ALL TRUSS INSTALLATIONS AND BRACINGS TO COMPLY WITH LOCAL BUILDING CODES AND REGULATIONS.
10. CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE TRUSS INSTALLATION.
11. ANY DEVIATIONS FROM THESE NOTES OR DRAWINGS MUST BE APPROVED BY THE ENGINEER OF RECORD.
12. ENSURE PROPER ANCHORAGE OF TRUSSES TO RESIST WIND AND SEISMIC FORCES IN ACCORDANCE WITH CODE REQUIREMENTS.
13. INSPECT ALL TRUSSES FOR DAMAGE PRIOR TO INSTALLATION. DO NOT INSTALL DAMAGED TRUSSES.
14. ALL METAL CONNECTORS AND FASTENERS TO BE GALVANIZED OR OF APPROVED CORROSION-RESISTANT MATERIAL.



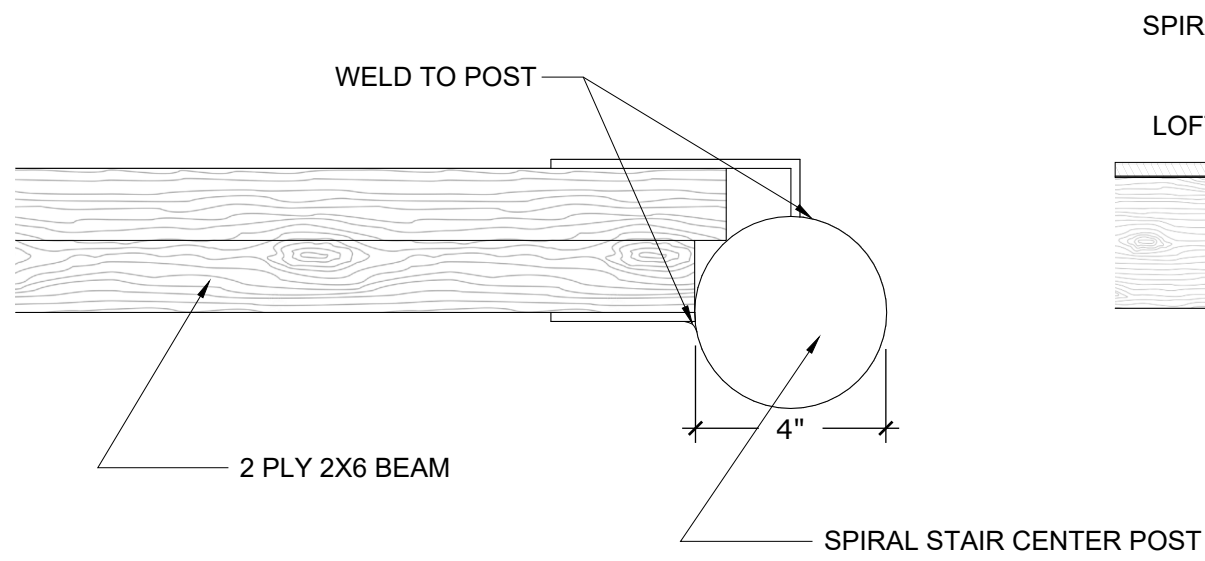
3 FRAMING DETAIL SCALE: 1/2" = 1'-0"



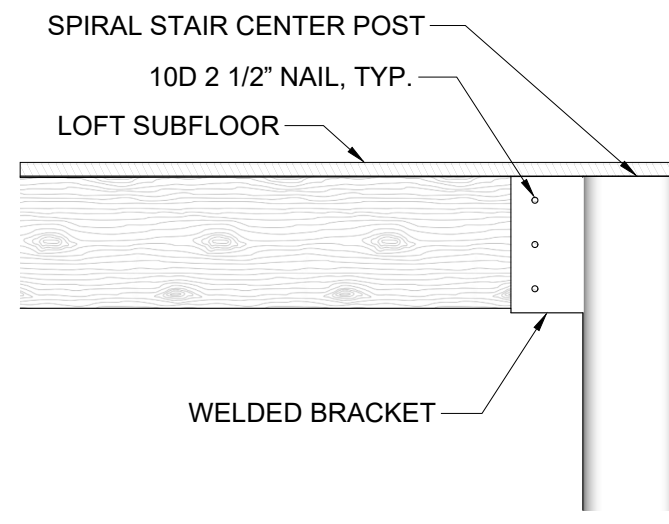
4 TRUSS ANCHOR DETAIL SCALE: 1/2" = 1'-0"



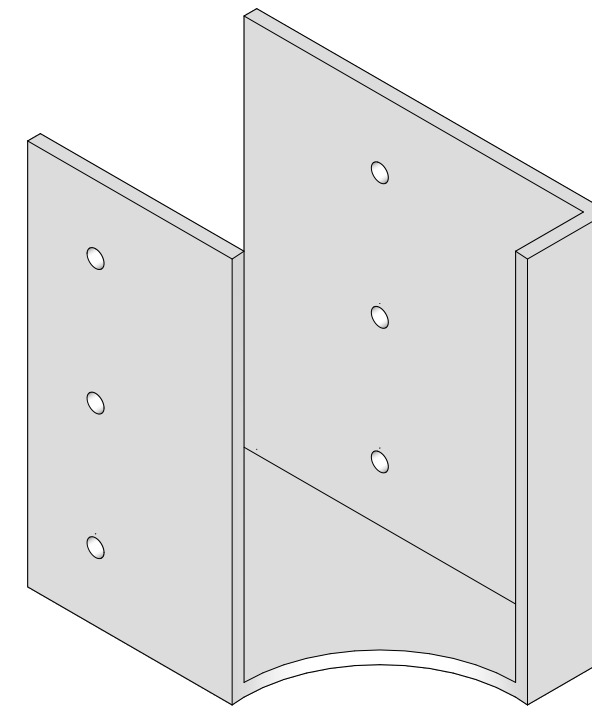
5 TRUSS DIAGRAM SCALE: 1/4" = 1'-0"



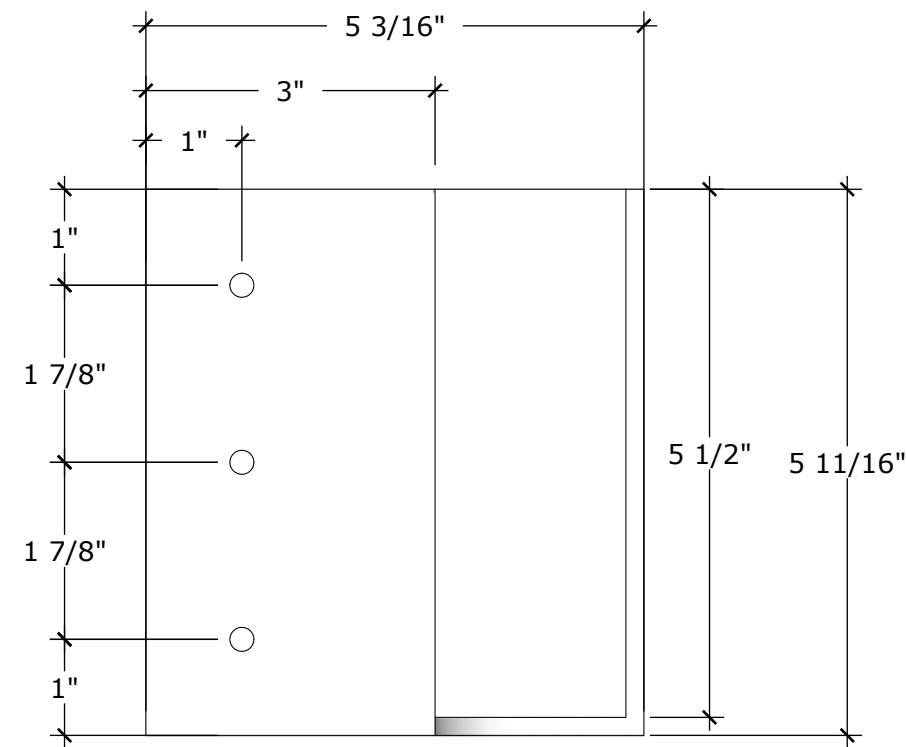
1 PLAN VIEW ASSEMBLY SCALE: 3" = 1'-0"



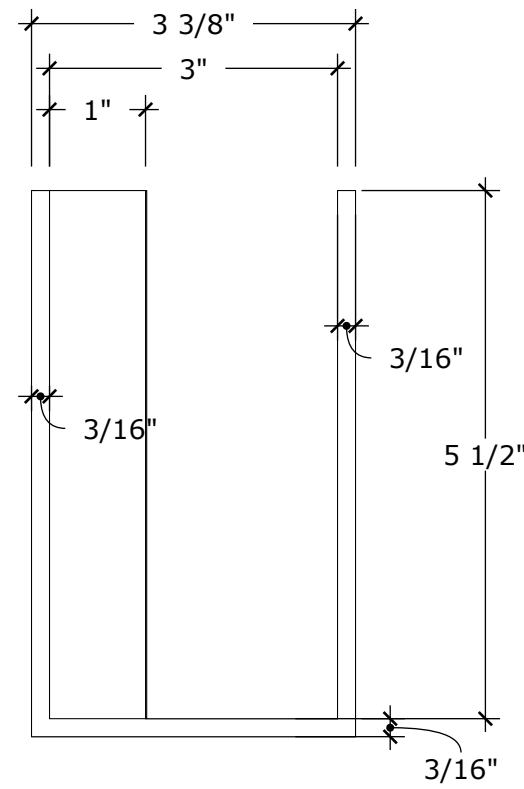
2 ELEVATION ASSEMBLY SCALE: 1 1/2" = 1'-0"



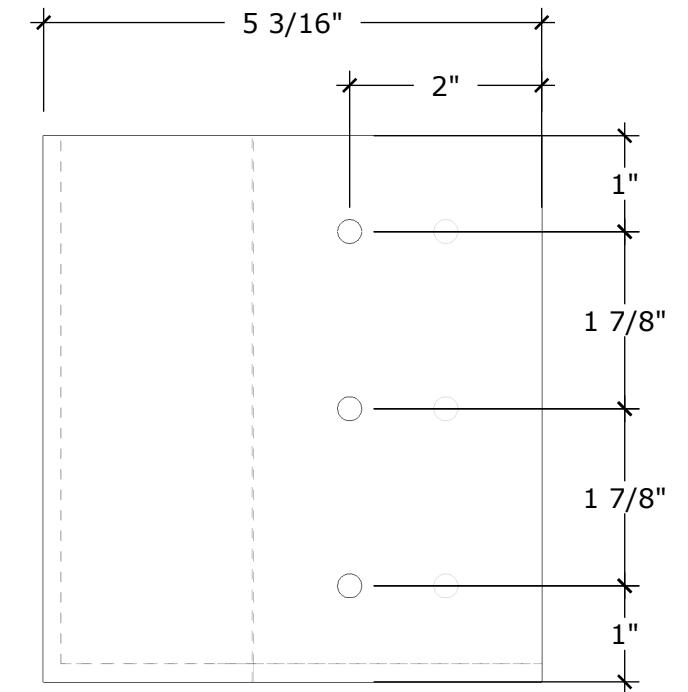
3 ISOMETRIC BRACKET SCALE: 6" = 1'-0"



4 FRONT VIEW BRACKET SCALE: 6" = 1'-0"



5 BEARING END VIEW BRACKET SCALE: 6" = 1'-0"



6 BACK VIEW BRACKET SCALE: 6" = 1'-0"

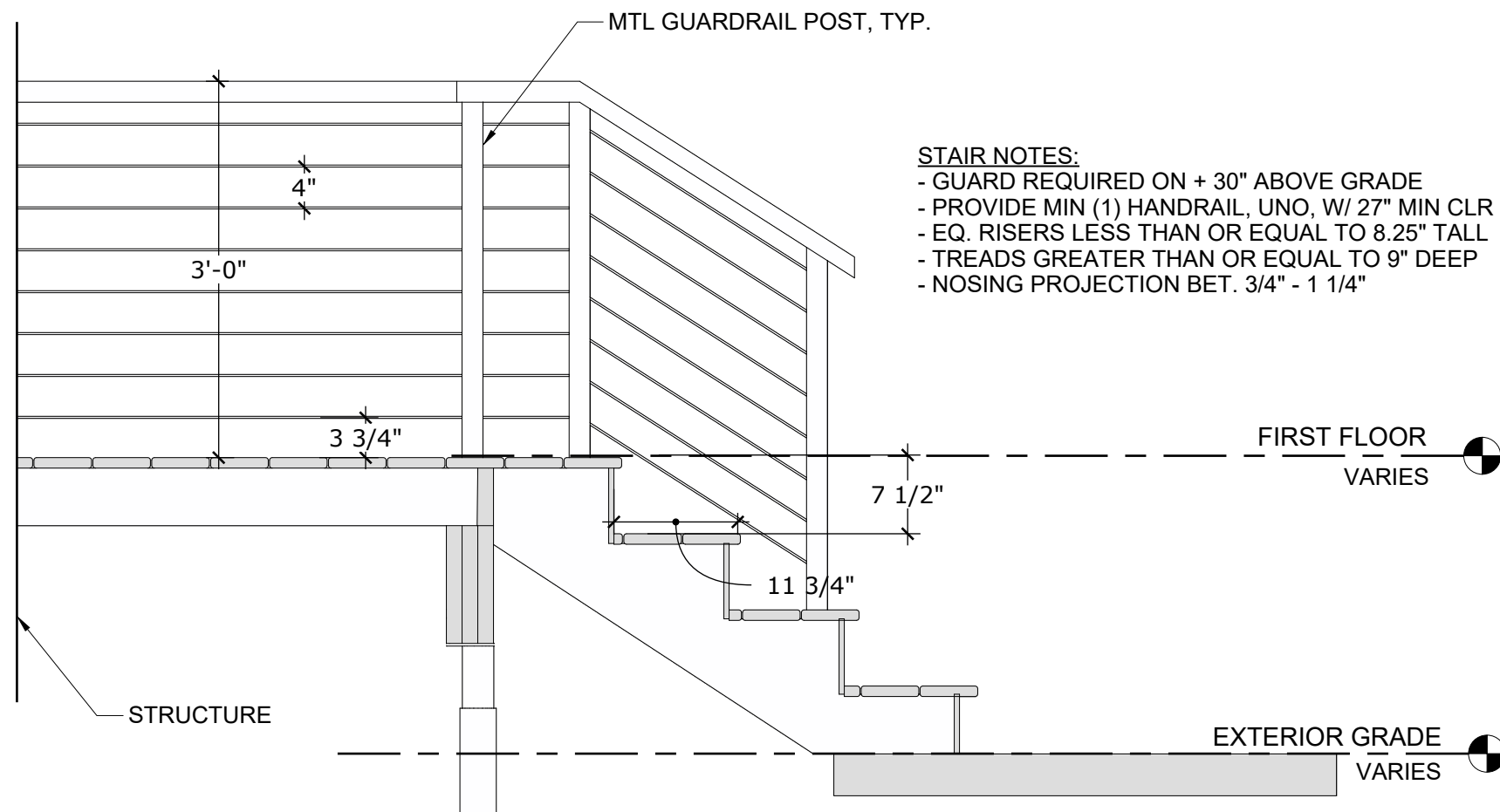
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SGL SPIRAL
STAIR DETAIL



STAIR NOTES:
 - GUARD REQUIRED ON + 30" ABOVE GRADE
 - PROVIDE MIN (1) HANDRAIL, UNO, W/ 27" MIN CLR BET. HANDRAILS
 - EQ. RISERS LESS THAN OR EQUAL TO 8.25" TALL
 - TREADS GREATER THAN OR EQUAL TO 9" DEEP
 - NOSING PROJECTION BET. 3/4" - 1 1/4"

GENERAL STAIR NOTES

1. ALL STAIRS / HANDRAILS / GUARDRAILS TO BE INC COMPLIANCE WITH NYSBC R311.7.8 AND R312.1.
2. ALL HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONT. RUN OR FLIGHT WITH (4) OR MORE RISERS. HANDRAILS TO BE 36" ABOVE WALKING SURFACE. HANDRAILS SHALL BE CONT. FOR THE FULL LENGTH OF THE STAIR AND TERMINATED TO NEWEL POST OR WALL. HANDRAILS SHALL HAVE A SPACE OF NOT LESS THAN 1 1/2" BET. WALL AND HANDRAIL. HANDRAIL TO BE CIRCULAR 1 1/2" IN DIAMETER.
3. GUARDRAILS ARE TO BE PROVIDED ALONG ANY OPEN-SIDED WALKING SURFACE MORE THAN 30" ABOVE FLOOR OR GRADE. GUARDRAILS TO EXTEND TO 36". NO OPENING SHALL BE LARGE ENOUGH TO ALLOW A 4" DIAMETER SPHERE TO PASS THROUGH WITH THE EXCEPTION OF 6" DIAMETER AT THE TRIANGULAR OPENING BET. STAIR TREAD, RISER AND BOTTOM RAIL OF GUARD.
4. STAIRWAYS SHALL NOT BE LESS THAN 36" CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. THE CLEAR WIDTH OF STAIRWAYS AT AND BELOW THE HANDRAIL HEIGHT, INCLUDING TREADS AND LANDINGS, SHALL NOT BE LESS THAN 31 1/2" WHERE A HANDRAIL IS INSTALLED ON ONE SIDE AND 27" WHERE HANDRAILS ARE INSTALLED ON BOTH SIDES.

1 TYPICAL STAIR & GAURDRAIL SCALE: 3/4" = 1'-0"

WINDOW SCHEDULE

NO.	REFERENCE ROOM	MANUFACTURE	DETAILS MODEL/TYPE	UNIT STOCK NO	OPENING SPECIFICATIONS							NOTES
					R.O. WIDTH	R.O. HEIGHT	GLASS SF	VENT SF	EGRESS SF	C.O. WIDTH	C.O. HEIGHT	
1	LOFT (EGRESS)	JELD-WEN	CASEMENT	PREM. VINYL	2' - 4"	3' - 9"	5.8	5.752	5.752	1' - 8 3/4"	3' - 3 7/8"	SILL AT 1'-5" A.F.F. NON-LOAD BEARING HEADER
2	BEDROOM	TBD	PICTURE	TBD	6'-8"	6'-10"	19.08	-	-	-	-	RO COMBINED W/ WADJASCENT WINDOWS
3	BEDROOM	TBD	PICTURE	TBD	-	6'-10"	21.26	-	-	-	-	-
4	GABLE	TBD	PICTURE	TBD	10'-6"	5'-11"	2.06	-	-	-	-	RO COMBINED W/ WADJASCENT WINDOWS
5	GABLE	TBD	PICTURE	TBD	-	7'-8"	21.76	-	-	-	-	SEE ELEVATION FOR LAYOUT
6	GABLE	TBD	PICTURE	TBD	-	5'-11"	0.00	-	-	-	-	-

NATURAL LIGHT, VENTILATION & EMERGENCY EGRESS REQUIREMENTS

NO.	ROOM	AREA SF	REQ. LIGHT 8%	REQ. VENT 4%	REQ EGRESS
1	BEDROOM #1	171 SF	13.68 SF	6.84 SF	5.7
2	BEDROOM #2	143 SF	11.44 SF	5.72 SF	5.7
3	BEDROOM #3	133 SF	10.64 SF	5.32 SF	5.7

DOOR SCHEDULE

OPENING	ROOM	DOOR							FRAME			DETAILS	RATING	COMMENTS	WALL TYPE	
		WIDTH	HEIGHT	NO. OF PANELS	COMP.	PTD	WD	PTD	WD	PTD						
1	BATHROOM	2' - 8"	6' - 8"	0' - 1 3/4"	6 PANEL	COMP.	PTD	-	WD	PTD	-	-	-	N/A		INTERIOR
2	BEDROOM	3' - 0"	6' - 8"	0' - 1 3/4"	1 LITE	WD/GLASS	PTD	-	WD	PTD	-	-	-	N/A		EXTERIOR

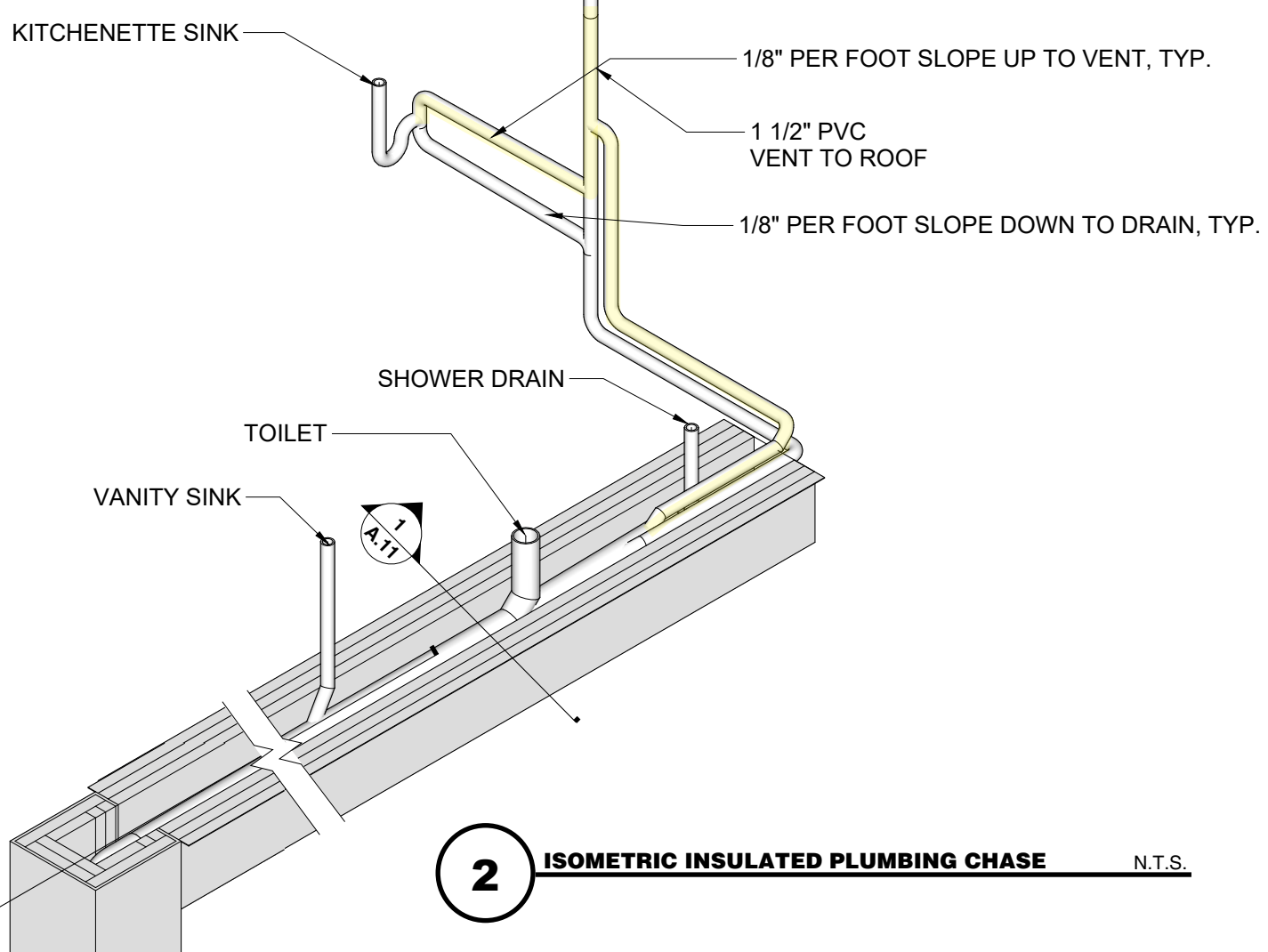
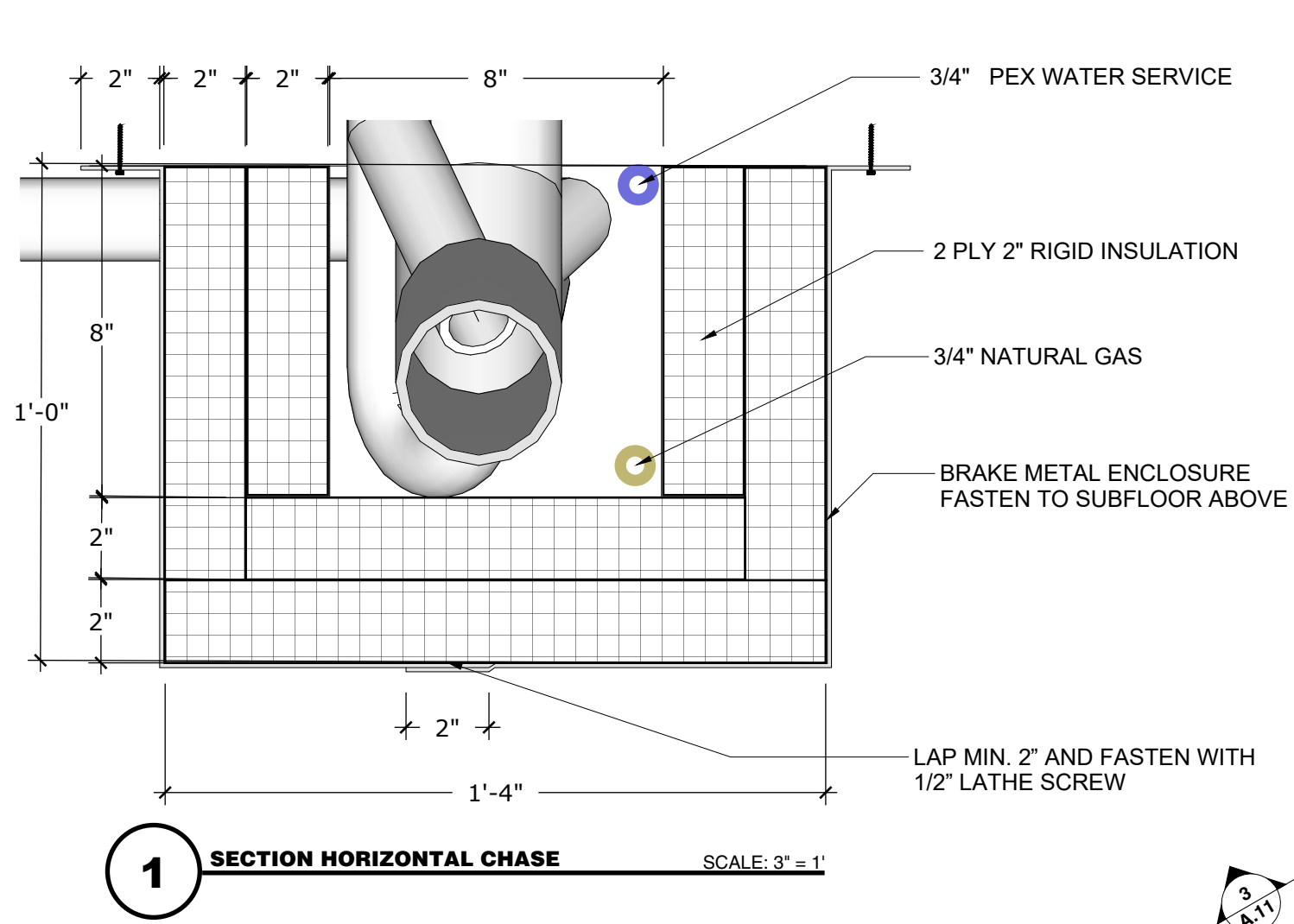
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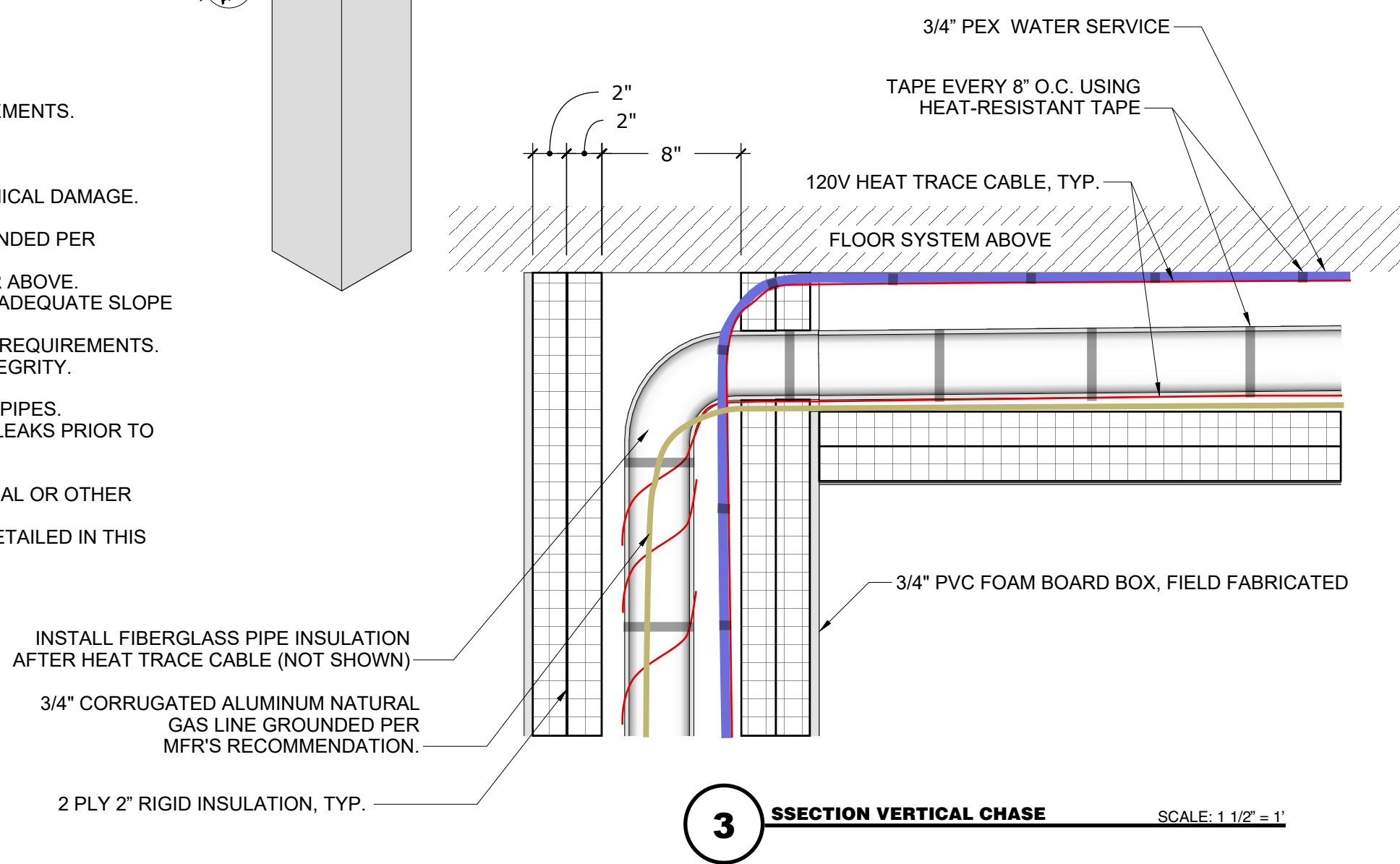
SGL
 DETAILS &
 SCHEDULES



PLUMBING GENERAL NOTES

1. ALL PIPING SHALL BE SUPPORTED AND SECURED PER NYS PLUMBING CODE REQUIREMENTS.
2. 3/4" PEX WATER SERVICE TO BE INSULATED AND PROTECTED WITHIN THE CHASE.
3. TAPE 3/4" PEX EVERY 8" O.C. USING HEAT-RESISTANT TAPE.
4. 120V HEAT TRACE CABLE TYPICAL FOR ALL FREEZE-PRONE PIPING WITHIN CHASE.
5. FLOOR SYSTEM ABOVE INSULATED PIPE CHASE MUST BE PROTECTED FROM MECHANICAL DAMAGE.
6. INSTALL FIBERGLASS PIPE INSULATION AFTER HEAT TRACE CABLE INSTALLATION.
7. NATURAL GAS SUPPLY THROUGH 3/4" CORRUGATED ALUMINUM LINE; MUST BE GROUNDED PER MANUFACTURER'S RECOMMENDATION.
8. BRAKE METAL ENCLOSURE TO SECURE AND PROTECT CHASE; FASTEN TO SUBFLOOR ABOVE.
9. 1-1/2" PVC VENT LINE FROM FIXTURES TO TERMINATE THROUGH ROOF, MAINTAINING ADEQUATE SLOPE FOR PROPER VENTING.
10. ALL PIPE SLOPES AND DRAINAGE TO BE IN ACCORDANCE WITH NYS PLUMBING CODE REQUIREMENTS.
11. INSTALL 3/4" PVC FOAM BOARD BOX, FIELD FABRICATED, TO ENSURE INSULATION INTEGRITY.
12. PROVIDE PROPER VENTING FOR ALL PLUMBING FIXTURES PER NYS PLUMBING CODE.
13. ENSURE ADEQUATE DRAIN SLOPE FOR ALL PIPING TO PREVENT WATER STANDING IN PIPES.
14. ALL CONNECTIONS AND JOINTS WITHIN THE CHASE TO BE SEALED AND TESTED FOR LEAKS PRIOR TO FINALIZING INSTALLATION.
15. INSPECT AND TEST ALL GAS LINES FOR LEAKS PRIOR TO FINAL CONNECTIONS.
16. ENSURE ADEQUATE CLEARANCES AND PROTECTION FOR PIPES CROSSING ELECTRICAL OR OTHER SERVICES.
17. ALWAYS REFER TO NYS PLUMBING CODE FOR ANY SITUATIONS NOT SPECIFICALLY DETAILED IN THIS SET.

FIXTURE LOAD SCHEDULE				
NO.	FIXTURE TYPE	FIXTURE UNITS	QUANTITY	TOTAL UNITS
1	KITCHEN SINK & FAUCET	1.5	1	1.5
2	BATHROOM VANITY SINK & FAUCET	1	1	1
3	TOILET (WC)	3	1	3
4	SHOWER	2	1	2
TOTAL				7.5



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PLUMBING CHASE DETAIL



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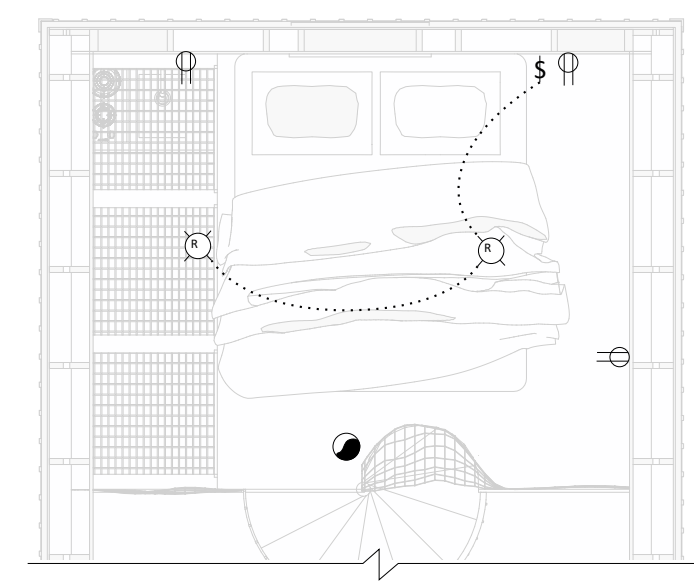
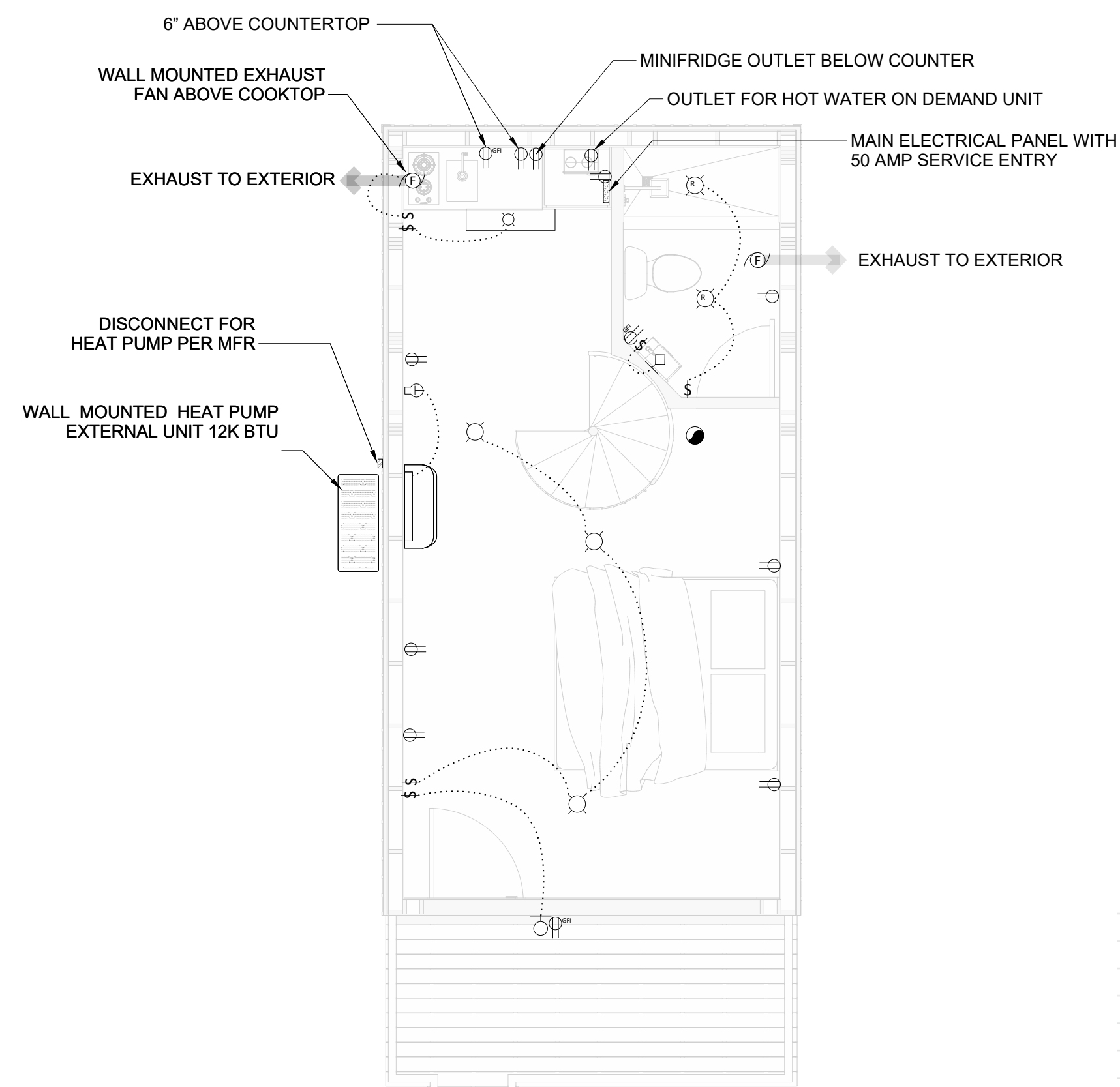
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SGL
ELECTRICAL PLANS &
SCHEDULES

A.12



2 LOFT ELECTRICAL PLAN SCALE: 1/4" = 1'-0"

CIRCUIT SCHEDULE					
CB	LOCATION	AMPERE RATING	TOTAL WATTS	DF	ADJ. WATTS
1	KITCHENETTE	20	665	0.7	466
2	BATHROOM	20	1,878	0.5	939
3	BEDROOM	15	259	0.5	130
4	HVAC	15	850	1	850
5	HEAT TRACE CABLE	15	350	0.6	210
6	LEAVE EMPTY	NA	NA	-	NA
TOTAL			4,002		2,594

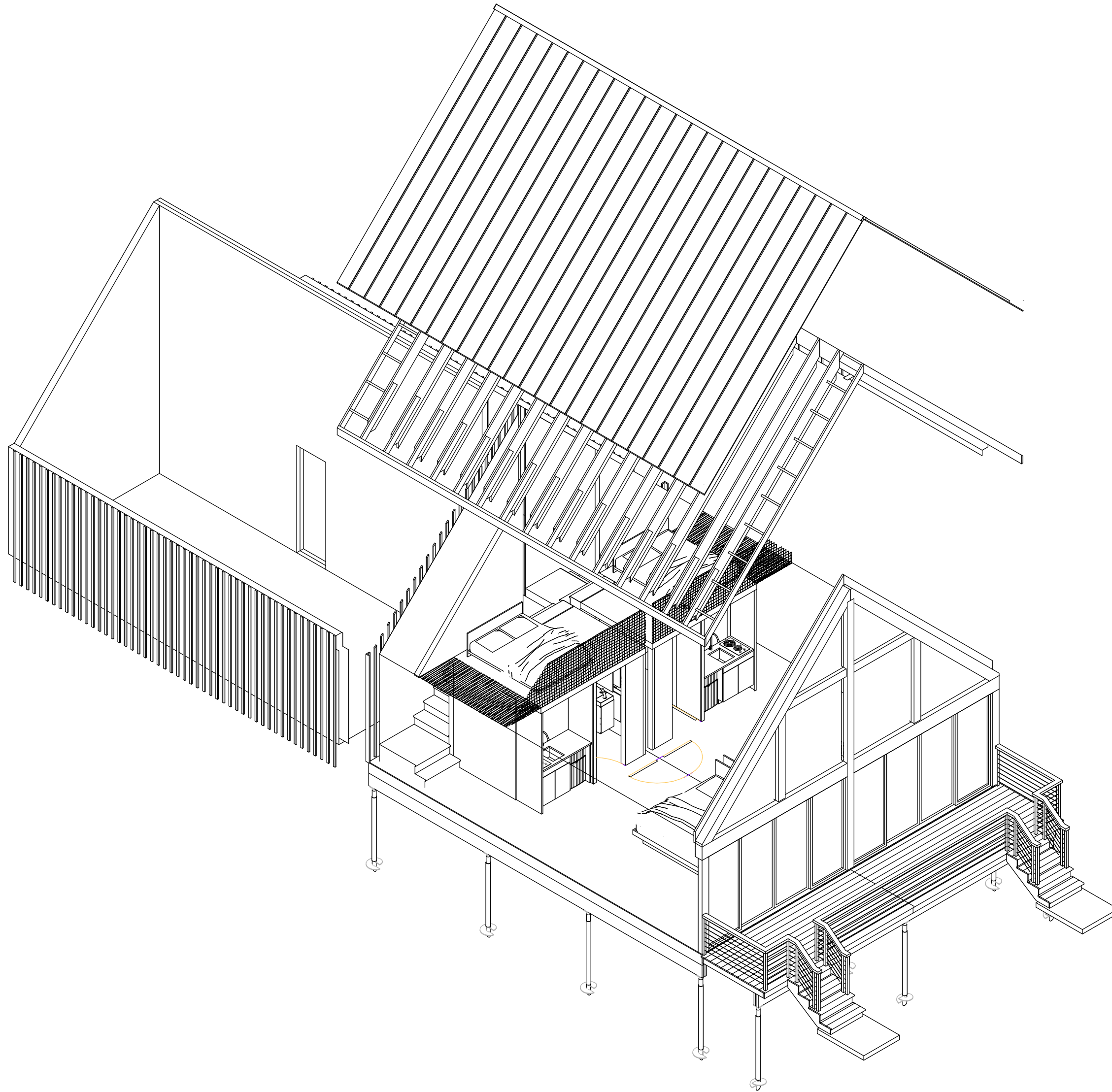
LOAD SCHEDULE						
LOCATION	DESCRIPTION	LOAD	QTY	TOTAL WATTS	CB	
KITCHENETTE	RECEPTACLES	180 W (AVG)	2	360 W	1	
	MINI FRIDGE	150 W	1	150 W	1	
	LIGHT FIXTURE	15 W	1	15 W	1	
LOFT	RECEPTACLES	30 W (AVG)	3	90 W	3	
FLOOR SYSTEM	HEAT TRACE CABLE	7 W	50	350 W	5	
	6" LED DOWNLIGHT	15 W	1	30 W	3	
	BATHROOM	6" LED DOWNLIGHT	15 W	2	30 W	2
	VANITY LIGHT	18 W	1	18 W	2	
	EXHAUST FAN	30 W	1	30 W	2	
UTILITY CLOSET	RECEPTACLES	900 W (AVG/MAX)	2	1800 W	2	
	HOT WATER ON DEMAND RECEPTACLE	120 W	1	120 W	1	
	UTILITY RECEPTACLE	20 W	1	20 W	1	
BEDROOM	EXTERIOR WALL SCNCE	18 W	1	18 W	3	
	EXTERIOR RECEPTACLE	100 (AVG)	1	100 W	3	
	PENDANT LIGHTS	7 W	3	21 W	3	
HVAC	12K BTU HEAT PUMP MINI-SPLIT	850 W	1	850 W	4	

3 ELECTRICAL SCHEDULES N.T.S.

1 FIRST FLOOR ELECTRICAL PLAN SCALE: 1/4" = 1'-0"

ELECTRICAL LEGEND

\$ SWITCH	UTILITY LIGHT	☐ RANGE/DRYER OUTLET
\$ ₃ THREE WAY SWITCH	4 FT LIGHT	☐ ^{DW} DISHWASHER OUTLET
\$ _{DM} DIMMER SWITCH	EXT. WALL MOUNTED LIGHT	☐ ^R REFRIGERATOR OUTLET
\$ _{occ} OCCUPANCY SEN SOR	INT. WALL SCNCE	☐ ^W WASHER OUTLET
☉ CO/SMOKE DETECTOR	EXHAUST FAN	☐ ^{RFI} GFI OUTLET
⊙ RECESSED LIGHT	CEILING FAN	☐ SINGLE DUPLEX OUTLET
⊙ FLUSH MOUNTED LIGHT		☐ THERMOSTAT



TYPICAL DOUBLE UNIT - GENERAL NOTES

UNIT DIMENSIONS

EACH DOUBLE UNIT MEASURES EXTERNALLY AT 25'-9" IN WIDTH AND 28'-10 1/2" IN LENGTH, WITH AN APPROXIMATE FOOTPRINT OF 742 SF. MAXIMUM HEIGHT SHALL NOT EXCEED 25'.

CONSTRUCTION

DESIGNED IN COMPLIANCE WITH THE 2020 IRC STANDARDS.

PARTY WALL

THE PARTY WALL SEPARATING THE TWO ADJOINING SUITES SHALL BE CONSTRUCTED AS A 1-HOUR FIRE-RATED ASSEMBLY, EXTENDING CONTINUOUSLY FROM THE FOUNDATION TO OR THROUGH THE ROOF.

ENERGY CODE

COMPLIANCE WITH THE 2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) IS STRICTLY MAINTAINED FOR ALL DOUBLE UNITS.

UTILITIES

EACH SUITE WITHIN THE UNIT FEATURES A UTILITY CHASE OR CLOSET, WHICH HOUSES A HOT WATER ON-DEMAND UNIT AND A 50-AMP ELECTRICAL PANEL.

HVAC

A 12K BTU HEAT PUMP SYSTEM IS INSTALLED IN EACH SUITE TO PROVIDE BOTH HEATING AND AIR CONDITIONING.

AMENITIES

SUITES ARE EQUIPPED WITH A SLEEPING AREA, A LOFT SPACE WITH AN ADDITIONAL BED, A BATHROOM, AND A KITCHENETTE.

SEPARATION

A MINIMUM OF 10-FOOT SEPARATION IS MAINTAINED BETWEEN EACH DOUBLE UNIT AND ADJACENT BUILDINGS ON THE PROPERTY.

USAGE

THESE UNITS ARE DESIGNED FOR BOTH SHORT-TERM AND LONG-TERM OCCUPANCY.



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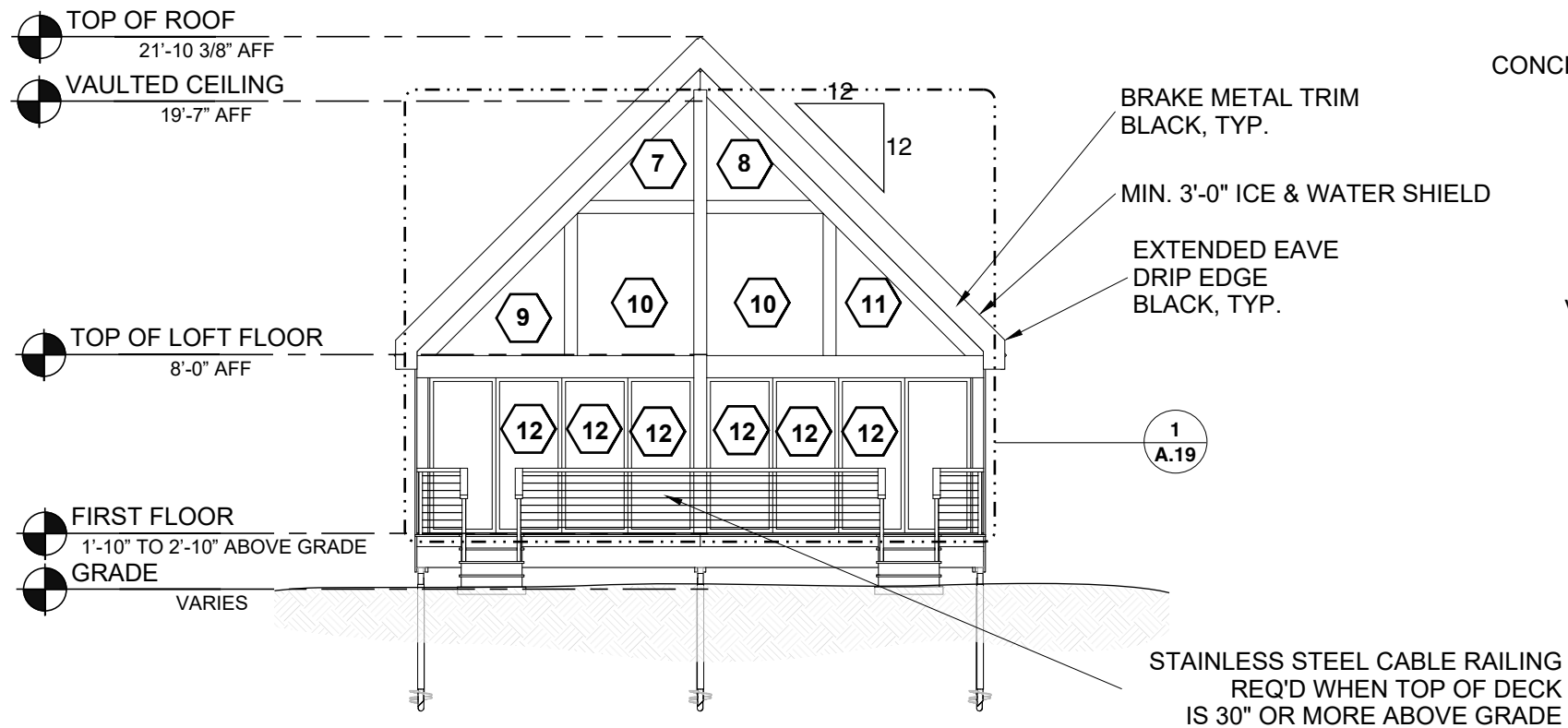
CLIENT
Katie & Will Carson
75 Dieskau St
Lake George, NY

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PROJECT NO.
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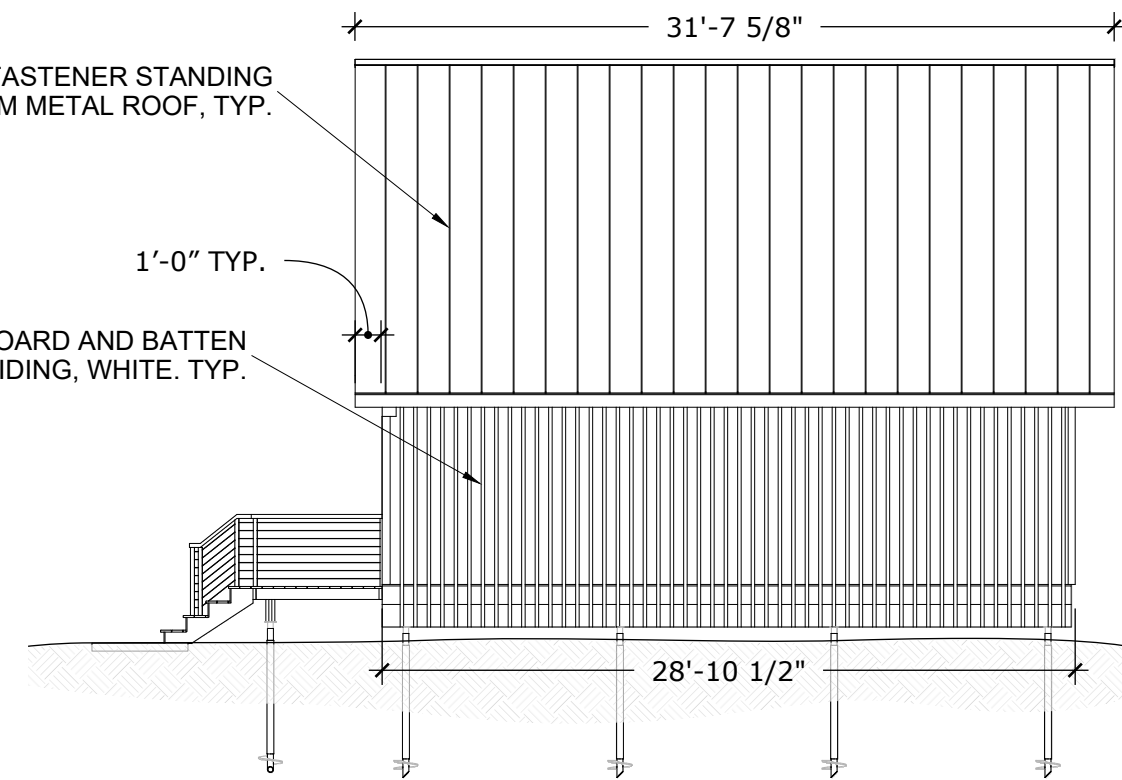
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**DBL GENERAL
NOTES**

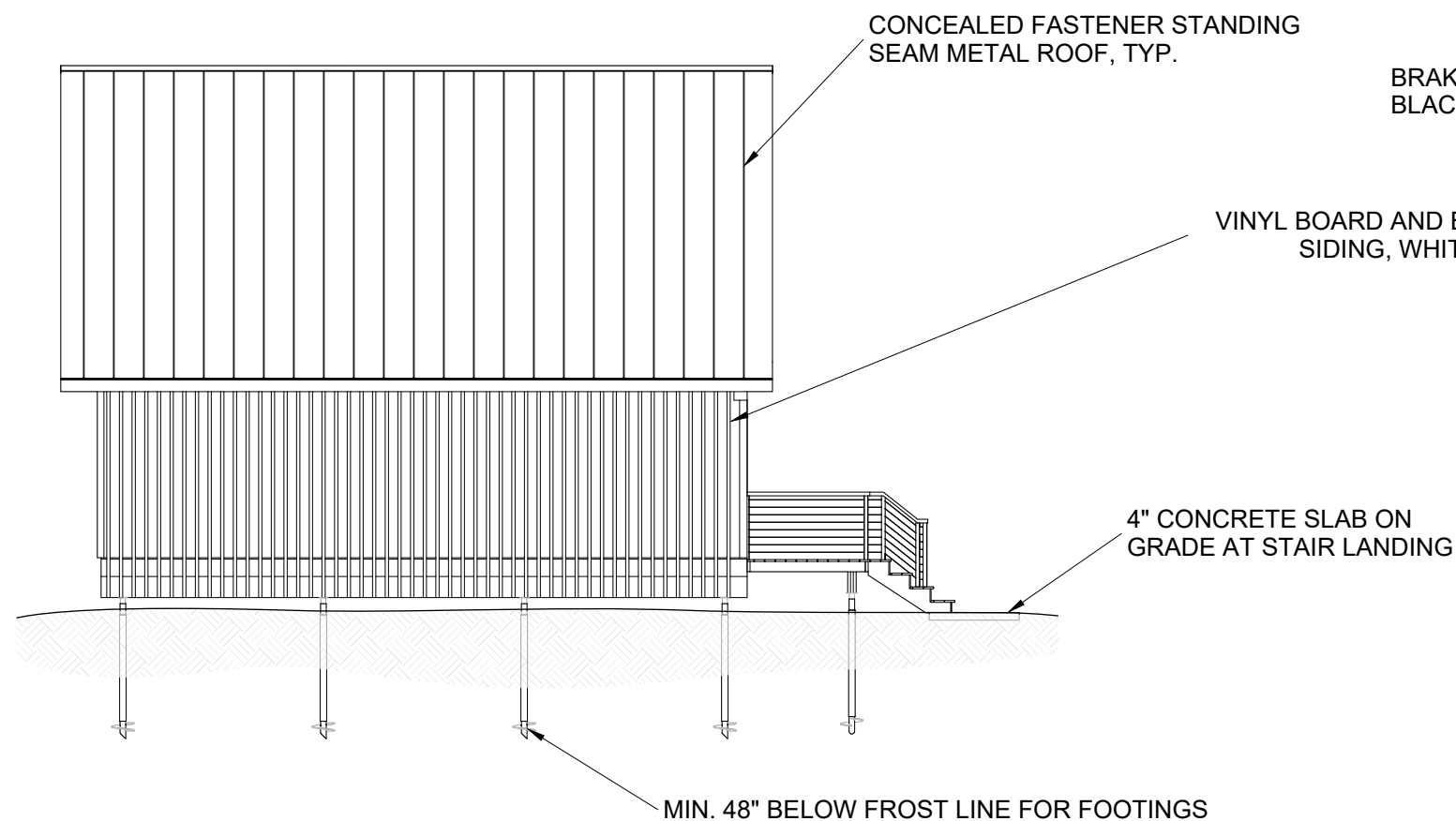
HEIGHT OF STRUCTURES ABOVE GRADE MAY VARY
BETWEEN 23'-8 3/8" AND 24'-8 3/8" ABOVE GRADE



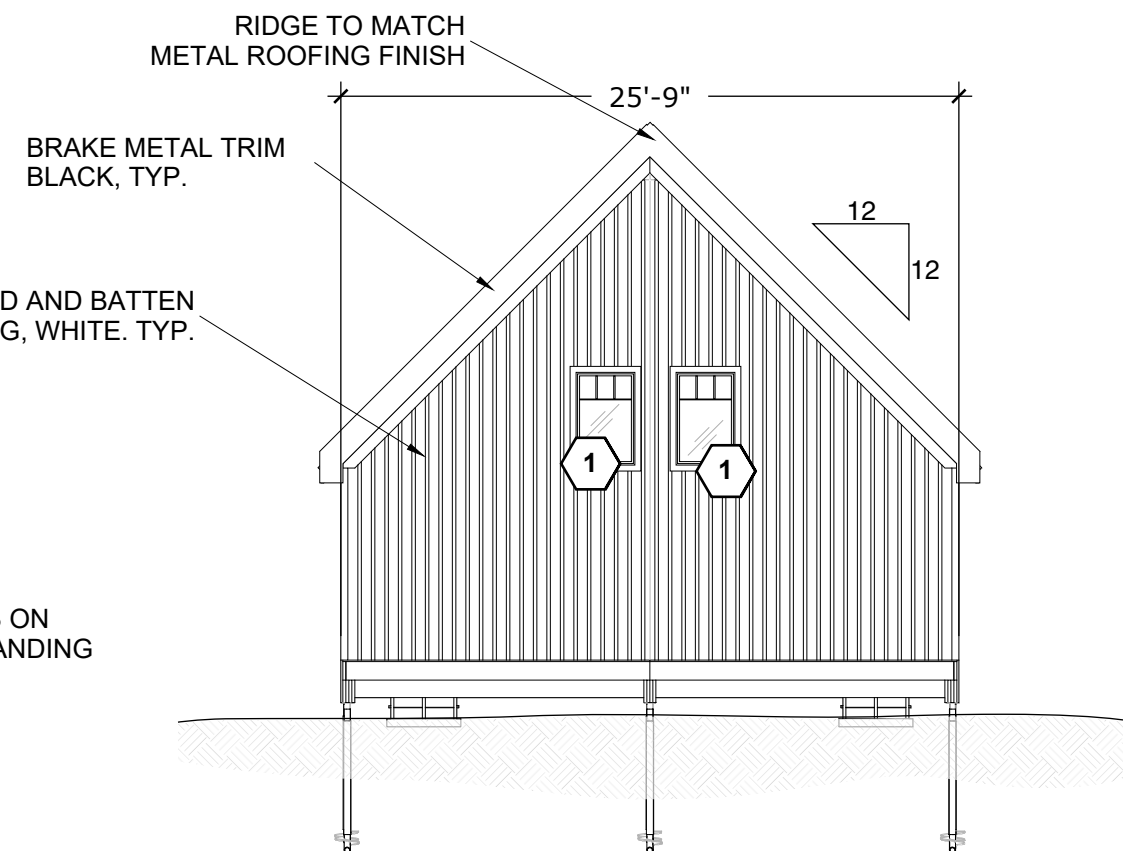
1 NORTH ELEVATION SCALE: 1/8" = 1'-0"



2 WEST ELEVATION SCALE: 1/8" = 1'-0"



3 EAST ELEVATION SCALE: 1/8" = 1'-0"



4 SOUTH ELEVATION SCALE: 1/8" = 1'-0"



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DBL ELEVATIONS



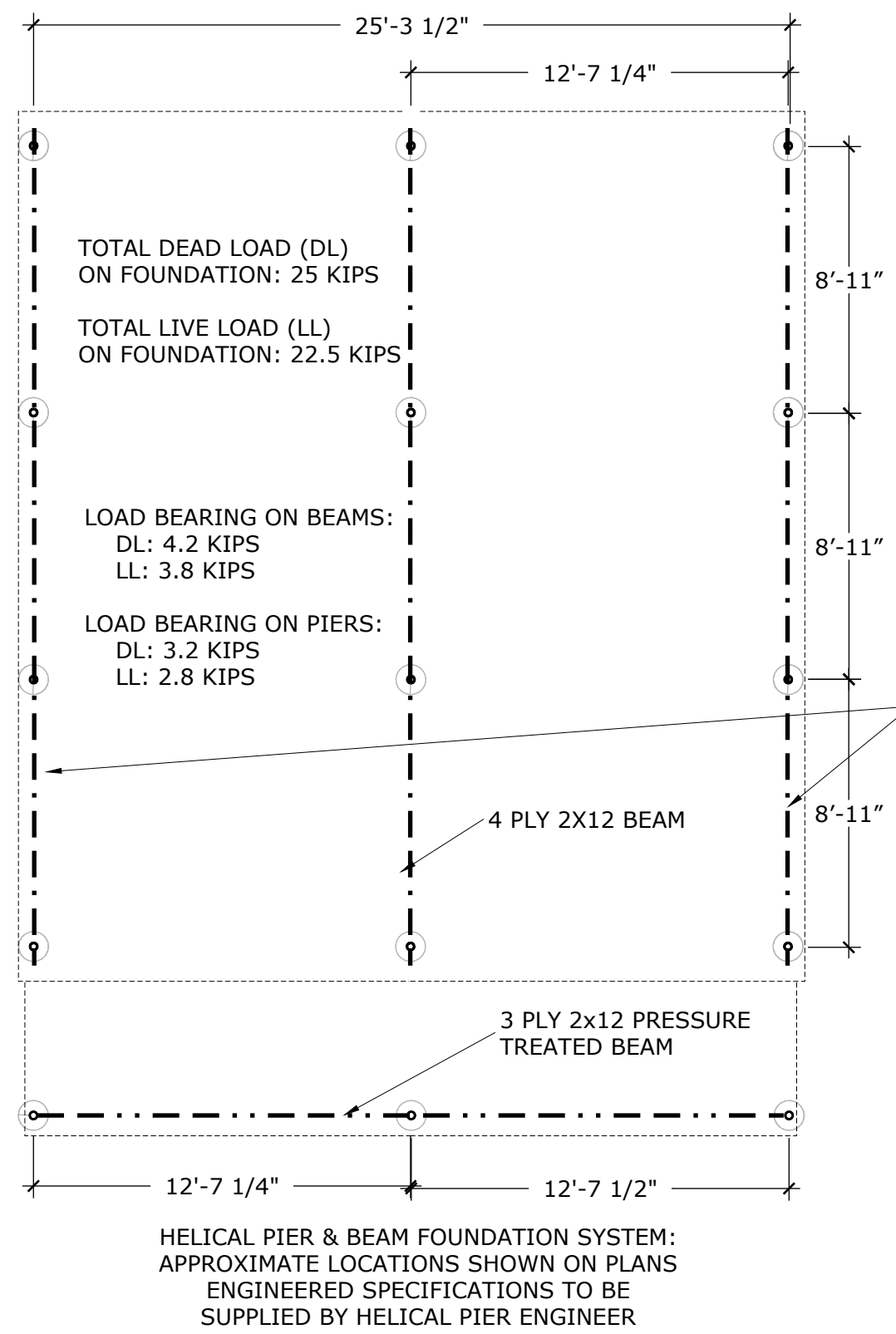
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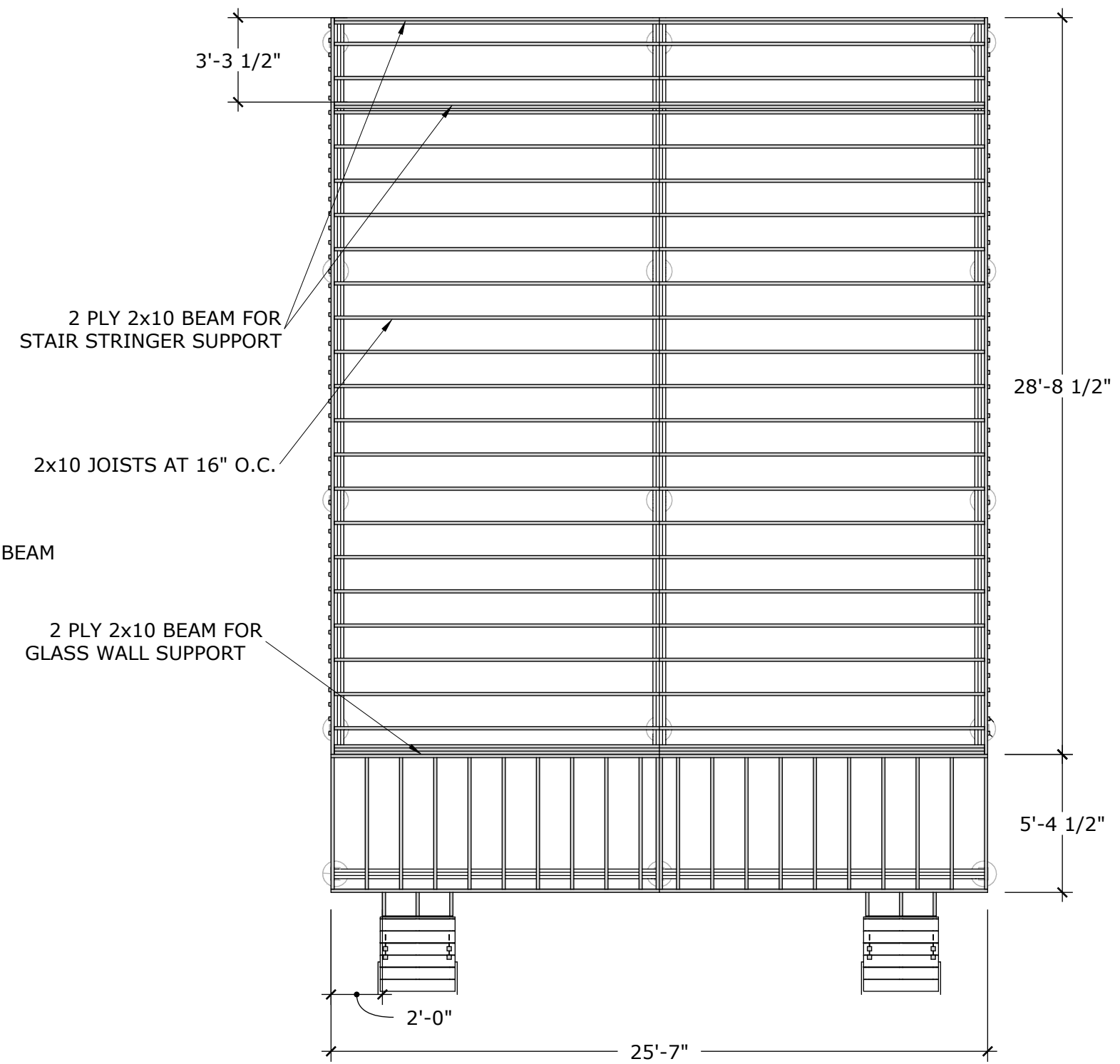
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**DBL
 FOUNDATION &
 FRAMING PLAN**



1 FOUNDATION PLAN SCALE: 3/16" = 1'-0"



2 FIRST FLOOR FRAMING PLAN SCALE: 3/16" = 1'-0"



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DBL FIRST FLOOR PLAN

A.16

120K BTU TAKAGI CONDENSING NG HOT WATER ON DEMAND UNIT
INSTALLED PER MFR INSTRUCTIONS
VENT TO OUTSIDE

ELECTRICAL PANEL LOCATION
INDICATED, INSTALL PER
NEC REQUIREMENTS

CONCEALED ACCESS PANEL
UTILITY CABINET FOR MECHANICALS

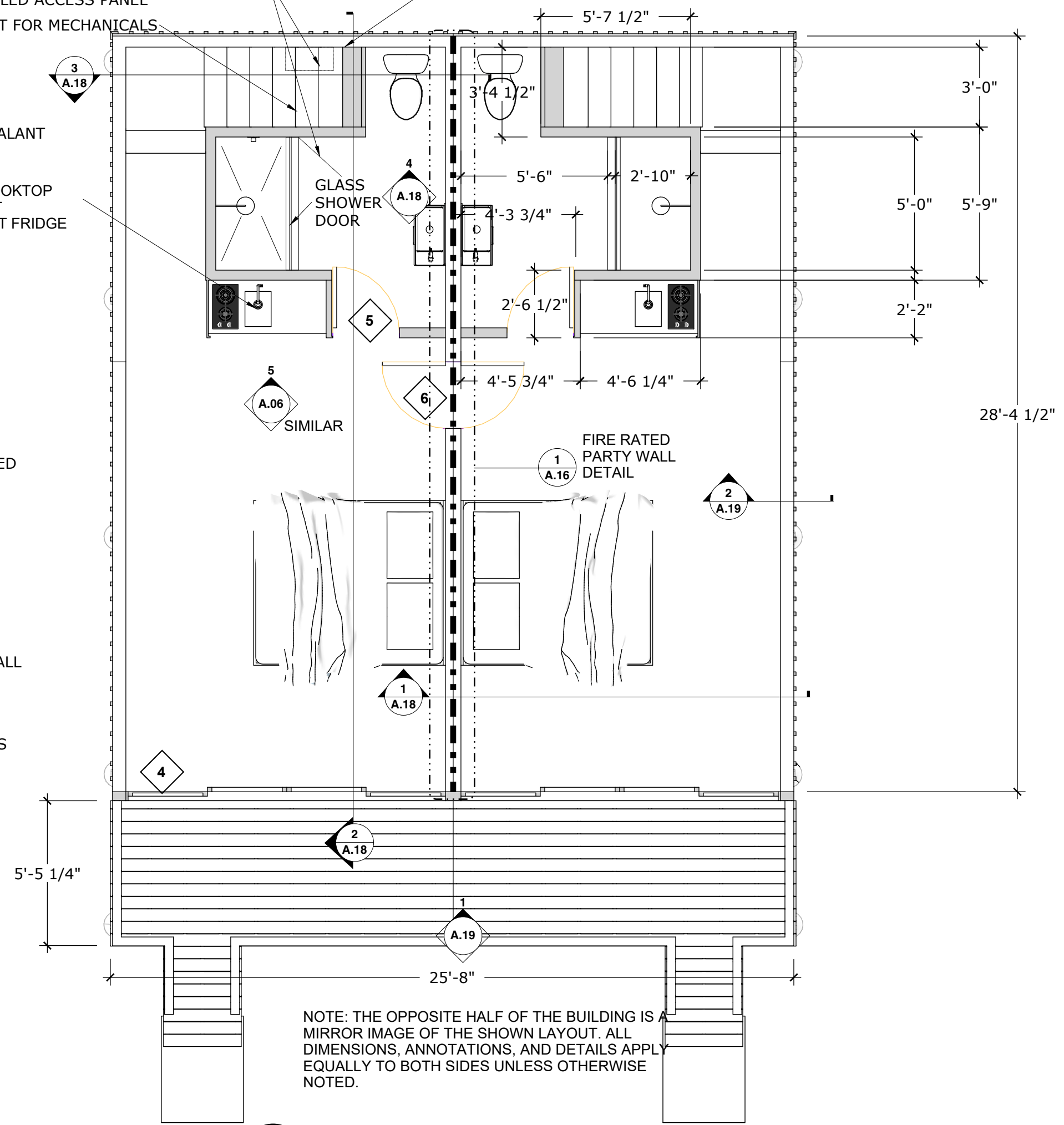
EXTEND 5/8" GWB TO
UNDERSIDE OF SHEATHING,
SEAL EDGE WITH FIRESTOP SEALANT

KITCHENETTE
12k BTU NG COOKTOP
SINK & FAUCET
UNDERCABINET FRIDGE

TYPE X 5/8" GWB
2X6 STUD 16" O.C.
R-19 BATT INSULATION
1/2" RC-1 RESILIENT CHANNEL
TYPE X 5/8" GWB
*ALL PENETRATIONS TO BE SEALED
WITH FIRESTOP SEALANT

WHERE STAIR STRINGER MEETS
PARTY WALL, SUBSTITUTE RC-1
PLYWOOD BACKING. TRIM DRYWALL
AT THIS INTERFACE AND APPLY
FIRESTOP SEALANT TO EDGES.

PROVIDE CONTINUOUS DRAFT
STOP BLOCKING BETWEEN JOISTS
ALONG ENTIRE LENGTH OF
PARTY WALL.



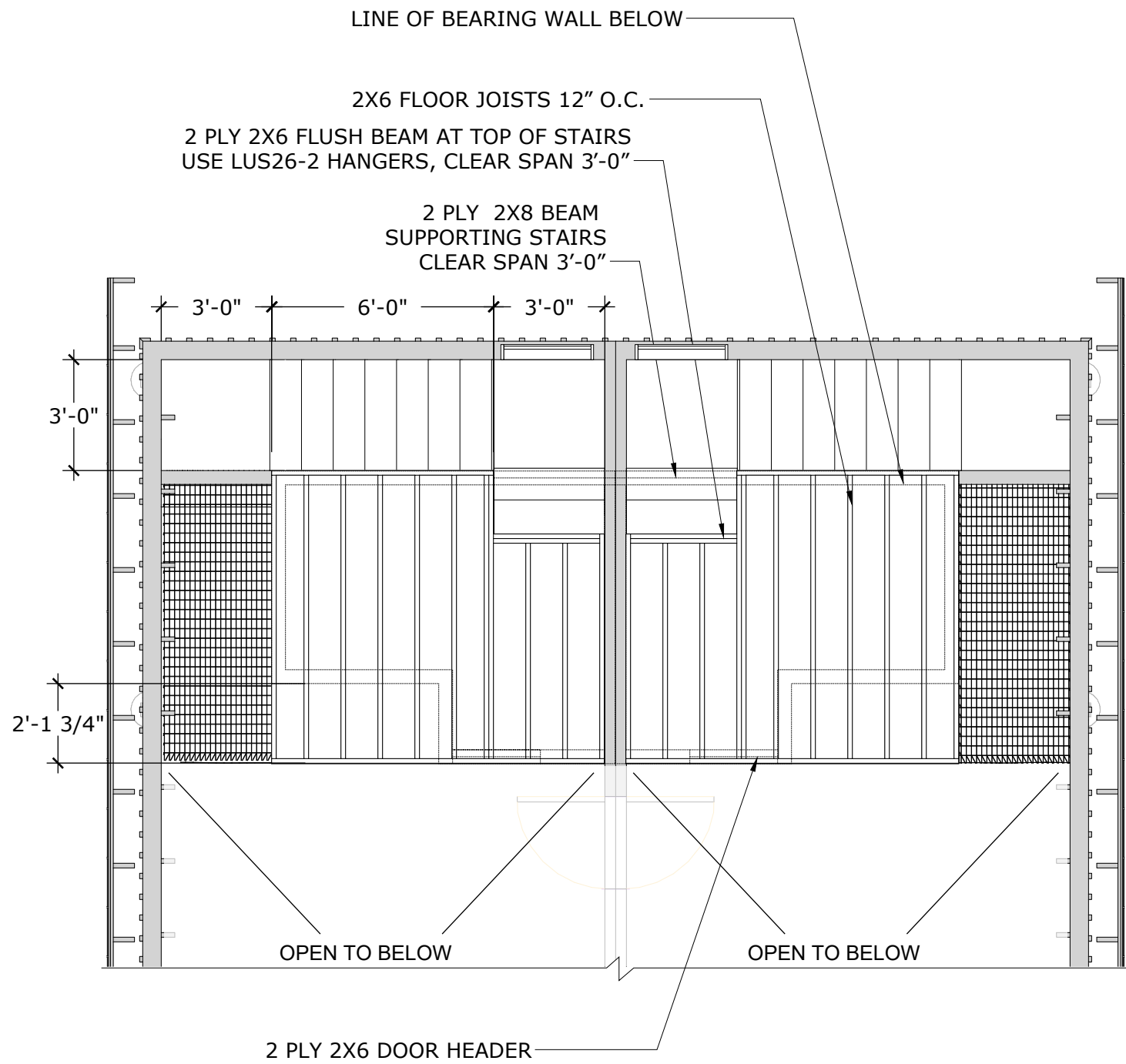
LOFT FLOOR

STAIRS TO LOFT

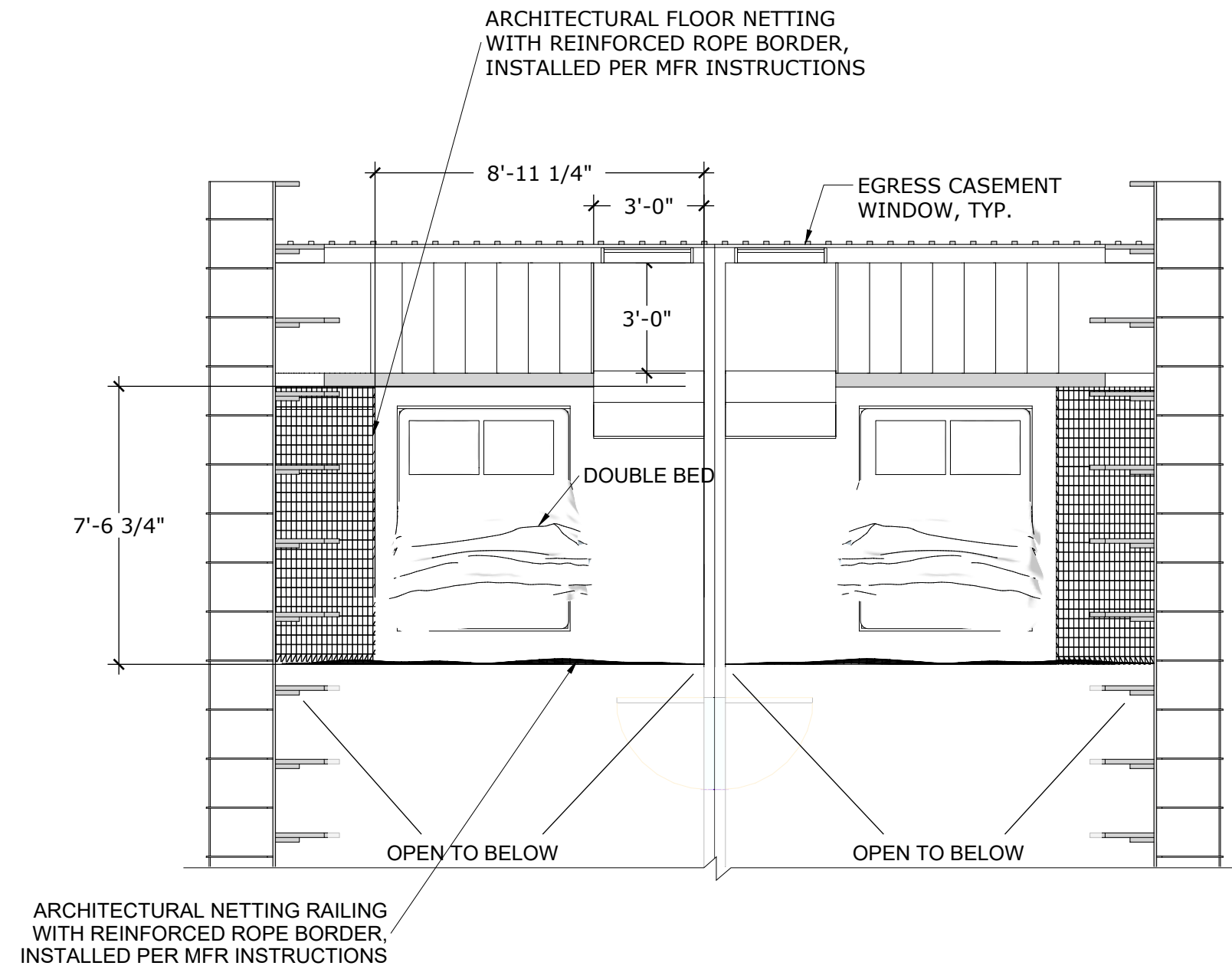
1 1HR FIRE RATED PARTY WALL N.T.S.

2 FIRST FLOOR PLAN SCALE: 1/4" = 1'-0"

NOTE: THE OPPOSITE HALF OF THE BUILDING IS A MIRROR IMAGE OF THE SHOWN LAYOUT. ALL DIMENSIONS, ANNOTATIONS, AND DETAILS APPLY EQUALLY TO BOTH SIDES UNLESS OTHERWISE NOTED.



1 LOFT FLOOR FRAMING PLAN SCALE: 1/4" = 1'-0"



2 LOFT FLOOR PLAN SCALE: 1/4" = 1'-0"

NOTE: THE OPPOSITE HALF OF THE BUILDING IS A MIRROR IMAGE OF THE SHOWN LAYOUT. ALL DIMENSIONS, ANNOTATIONS, AND DETAILS APPLY EQUALLY TO BOTH SIDES UNLESS OTHERWISE NOTED.

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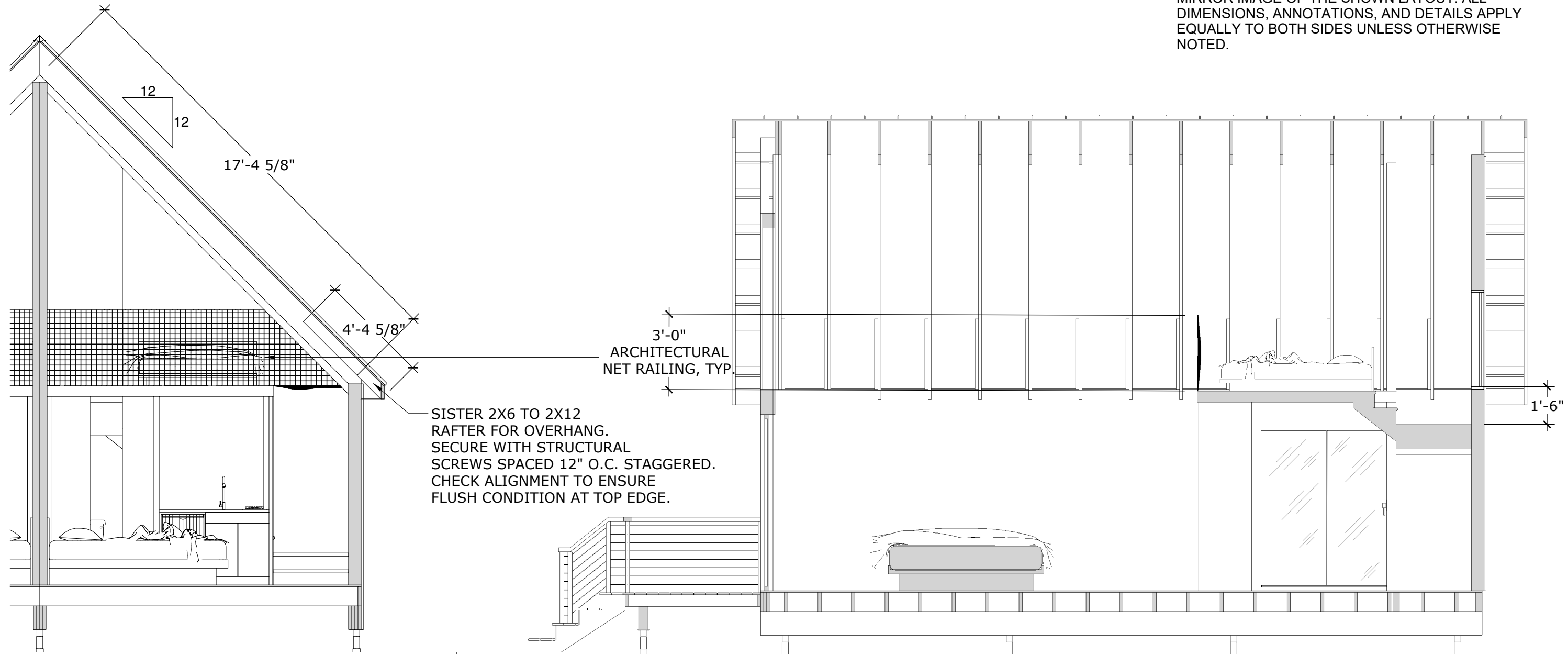
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DBL LOFT PLAN



NOTE: THE OPPOSITE HALF OF THE BUILDING IS A MIRROR IMAGE OF THE SHOWN LAYOUT. ALL DIMENSIONS, ANNOTATIONS, AND DETAILS APPLY EQUALLY TO BOTH SIDES UNLESS OTHERWISE NOTED.

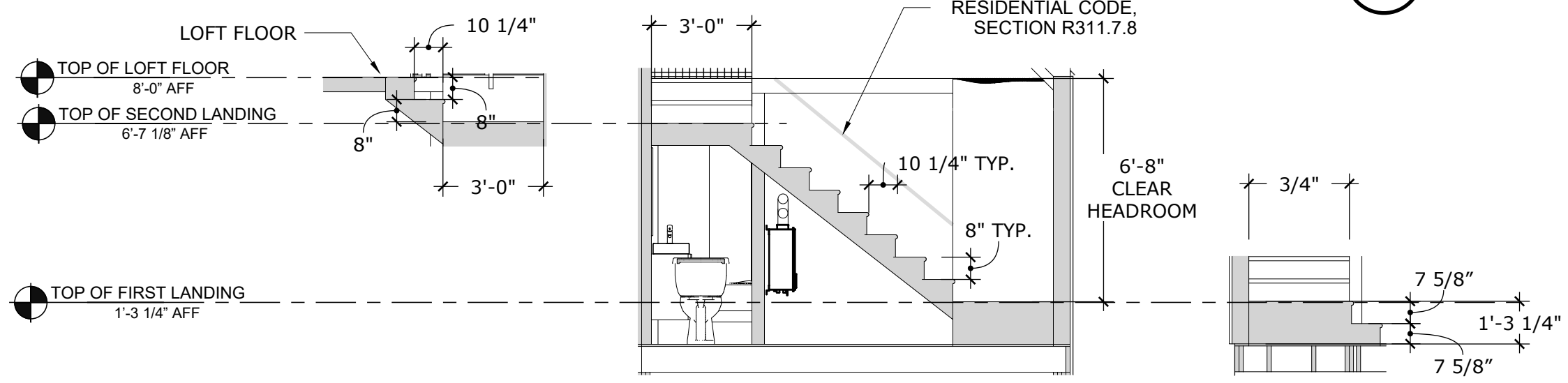


SISTER 2X6 TO 2X12 RAFTER FOR OVERHANG. SECURE WITH STRUCTURAL SCREWS SPACED 12" O.C. STAGGERED. CHECK ALIGNMENT TO ENSURE FLUSH CONDITION AT TOP EDGE.

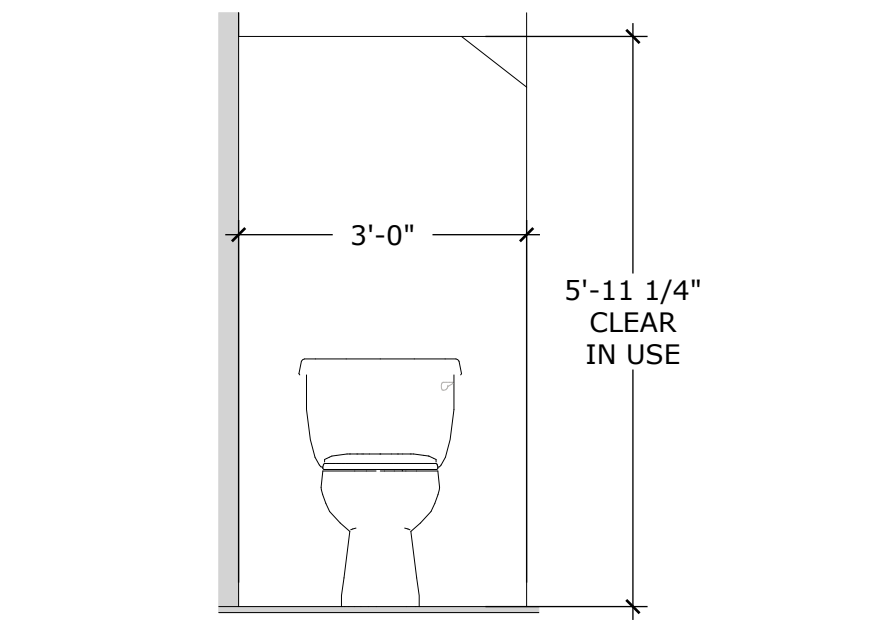
3'-0" ARCHITECTURAL NET RAILING, TYP.

1 EAST TO WEST SECTION SCALE: 1/4" = 1'-0"

2 NORTH TO SOUTH SECTION SCALE: 1/4" = 1'-0"



3 STAIR DETAIL SCALE: 1/4" = 1'-0"



4 TOILET ELEVATION SCALE: 1/2" = 1'-0"

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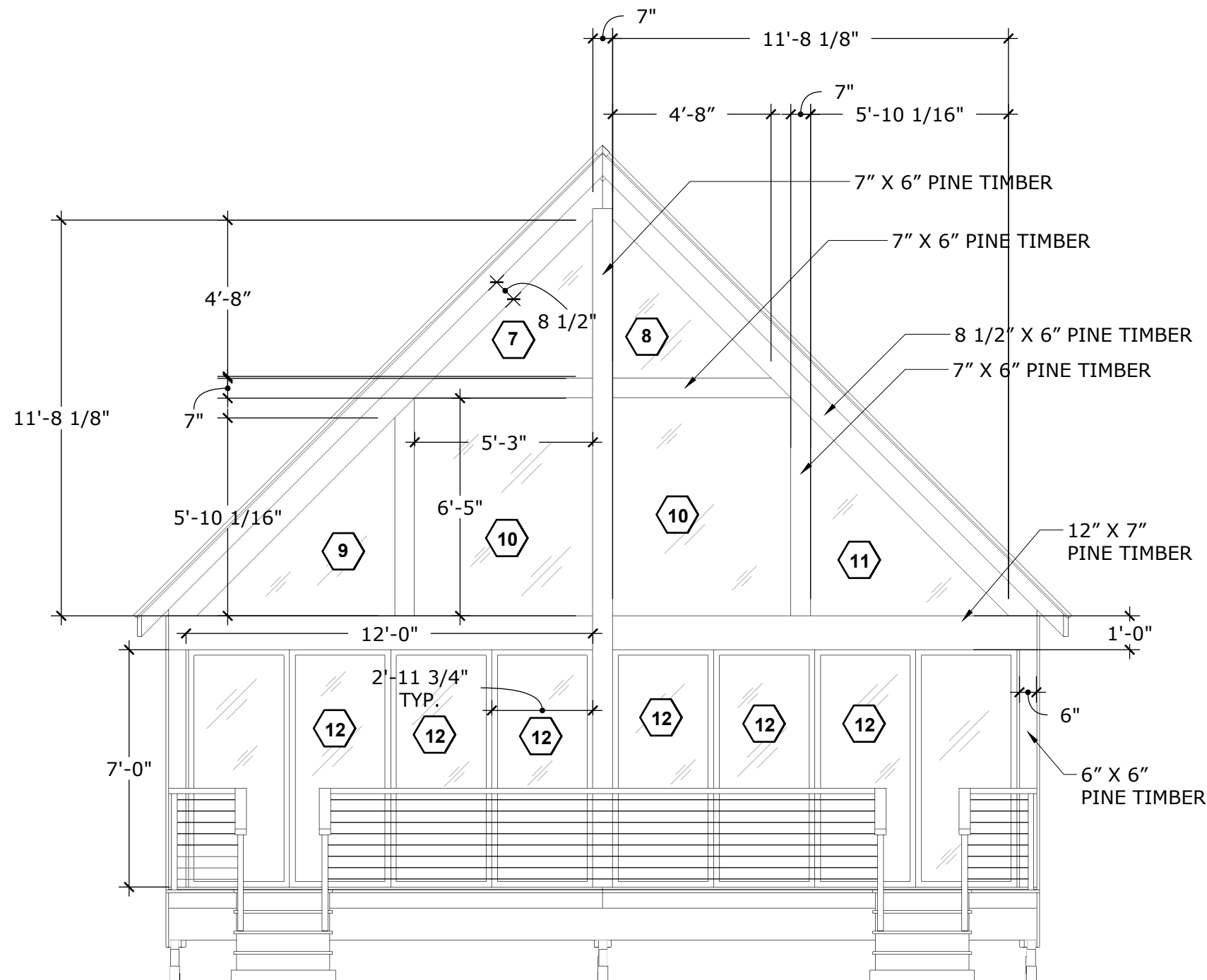
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DBL SECTIONS &
DETAILS

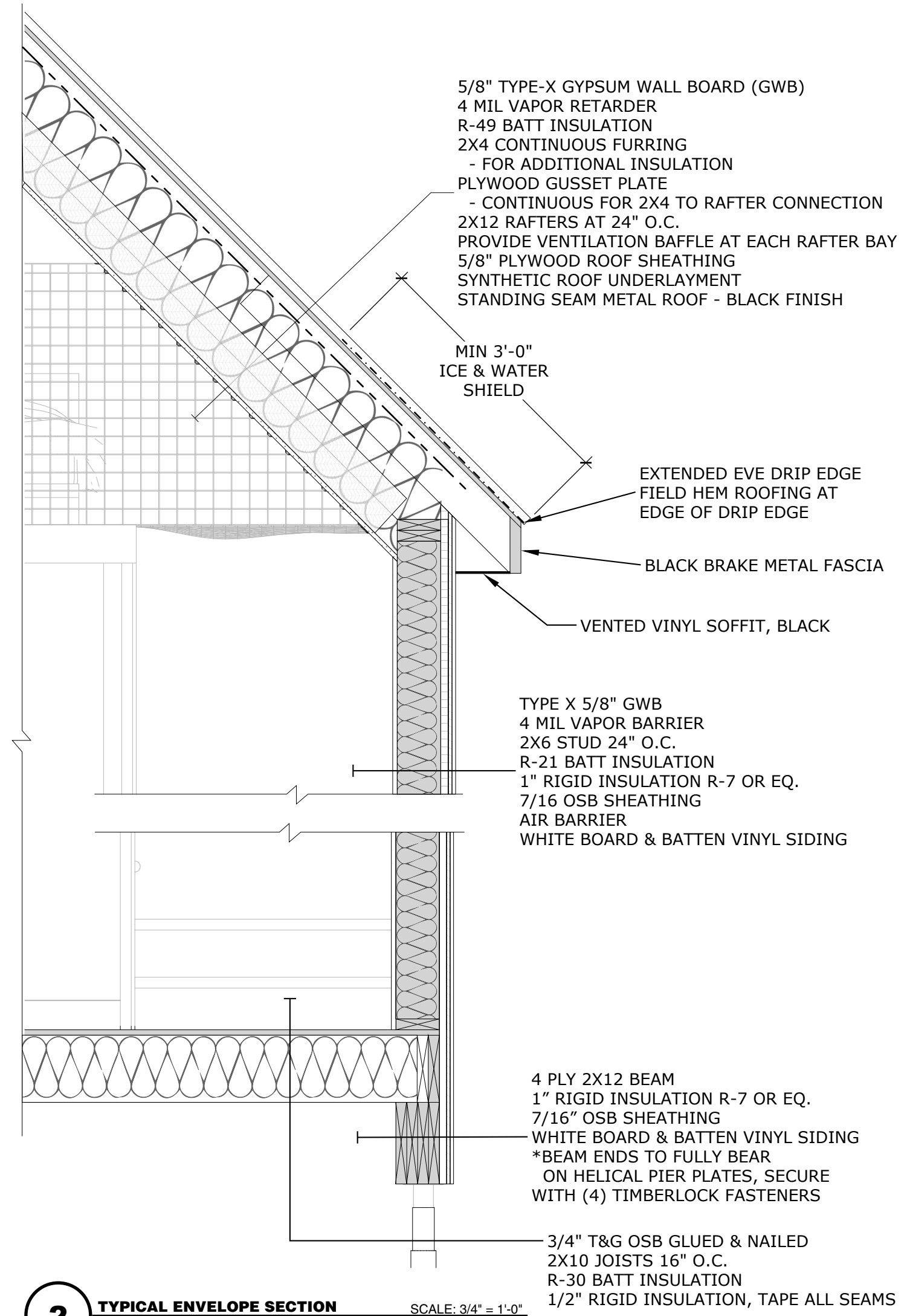
RAFTER FRAMING GENERAL NOTES

1. REFER TO DETAIL 3 ON PAGE A.14 FOR SIMILAR FRAMING DETAIL.
2. REFER TO DETAIL 4 ON PAGE A.14 FOR SIMILAR RAFTER ANCHOR DETAIL.
3. ALL FRAMING LUMBER TO BE SPF (SPRUCE-PINE-FIR) UNLESS NOTED OTHERWISE.
4. ENSURE PROPER ANCHORING AND BRACING OF RAFTERS AS PER CODE.
5. PROVIDE ADEQUATE VENTILATION IN RAFTER BAYS TO PREVENT MOISTURE ACCUMULATION.
6. USE GALVANIZED FASTENERS FOR ALL EXTERIOR CONNECTIONS.
7. CHECK ALIGNMENT AND LEVELNESS OF ALL FRAMING BEFORE APPLYING SHEATHING OR FINISHES.
8. SEAL ALL PENETRATIONS AND JOINTS TO ENSURE WEATHER TIGHTNESS.
9. ALL FRAMING TO COMPLY WITH NYS BUILDING CODE AND RELEVANT STANDARDS.



1 GLASS WALL ELEVATION SCALE: 1/4" = 1'-0"

NOTE: THE OPPOSITE HALF OF THE BUILDING IS A MIRROR IMAGE OF THE SHOWN LAYOUT. ALL DIMENSIONS, ANNOTATIONS, AND DETAILS APPLY EQUALLY TO BOTH SIDES UNLESS OTHERWISE NOTED.



2 TYPICAL ENVELOPE SECTION SCALE: 3/4" = 1'-0"



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DBL WINDOW & ENVELOPE DETAILS



WINDOW SCHEDULE													
REFERENCE		DETAILS				OPENING SPECIFICATIONS						NOTES	
NO.	ROOM	QTY	MANUFACTURE	MODEL/TYPE	UNIT STOCK NO	R.O. WIDTH	R.O. HEIGHT	GLASS SF	VENT SF	EGRESS SF	C.O. WIDTH		C.O. HEIGHT
7	GABLE TOP	1	TBD	PICTURE	TBD	4' - 8"	4' - 8"	18.78	-	-	-	-	TRIANGLE WINDOW
8	GABLE TOP	1	TBD	PICTURE	TBD	4' - 8"	4' - 8"	18.78	-	-	-	-	TRIANGLE WINDOW
9	GABLE	1	TBD	PICTURE	TBD	5' - 10"	5' - 10"	30.25	-	-	-	-	TRIANGLE WINDOW
10	GABLE	2	TBD	PICTURE	TBD	5' - 3"	6' - 5"	29.91	-	-	-	-	-
11	GABLE	1	TBD	PICTURE	TBD	5' - 10"	5' - 10"	30.25	-	-	-	-	TRIANGLE WINDOW
12	BEDROOM	6	TBD	PICTURE	TBD	2' - 11 3/4"	7'-0"	17.64	-	-	-	-	-
1	LOFT	1	JELD-WEN	CASEMENT	PREM. VINYL	2' - 4"	3' - 9"	5.8	5.752	5.752	1' - 8 3/4"	3' - 3 7/8"	EGRESS WINDOW (SAME AS SGL UNIT "1" WINDOW)

DOOR SCHEDULE																
OPENING		DOOR						FRAME			DETAILS			RATING	COMMENTS	WALL TYPE
NO.	ROOM SERVED	WIDTH	HEIGHT	THICKNESS	TYPE	MATERIAL	FINISH	TYPE	MATERIAL	FINISH	HEAD	JAMB	SILL			
4	BEDROOM	3' - 0"	6' - 8"	0' - 1 3/4"	1 LITE	WD/GLASS	PTD	-	WD	PTD	-	-	-	N/A	EGRESS	EXTERIOR
5	BATHROOM	2' - 8"	6' - 8"	0' - 1 3/4"	6 PANEL	WOOD	PTD	-	WD	PTD	-	-	-	N/A		INTERIOR
6	ADJOINING SUITE	3' - 0"	6' - 8"	0' - 1 3/4"	6 PANEL	MTL	PTD	-	WD	PTD	-	-	-	1 HR	LOCKSET	PARTY WALL

NATURAL LIGHT, VENTILATION & EMERGENCY EGRESS REQUIREMENTS					
NO.	ROOM	AREA SF	REQ. LIGHT 8%	REQ. VENT 4%	REQ EGRESS
1	BEDROOM	204 SF	16.32 SF	8.16 SF	5.7 SF
2	BATHROOM	63 SF	5.04 SF	2.52 SF	-
3					

1 ARCHITECTURAL SCHEDULES N.T.S.

CIRCUIT SCHEDULE					
CB	LOCATION	AMPERE RATING	TOTAL WATTS	DF	ADJ. WATTS
1	KITCHENETTE	20	665	0.7	466
2	BATHROOM	20	1,878	0.5	939
3	BEDROOM	15	259	0.5	130
4	HVAC	15	850	1	850
5	HEAT TRACE CABLE	15	350	0.6	210
6	LEAVE EMPTY	NA	NA	-	NA
TOTAL			4,002		2,594

2 ELECTRICAL SCHEDULES N.T.S.

LOAD SCHEDULE					
LOCATION	DESCRIPTION	LOAD	QTY	TOTAL WATTS	CB
KITCHENETTE	RECEPTACLES	180 W (AVG)	2	360 W	1
	MINI FRIDGE	150 W	1	150 W	1
	LIGHT FIXTURE	15 W	1	15 W	1
LOFT	RECEPTACLES	30 W (AVG)	3	90 W	3
	FLOOR SYSTEM	HEAT TRACE CABLE	7 W	50	350 W
BATHROOM	6" LED DOWNLIGHT	15 W	1	30 W	3
	6" LED DOWNLIGHT	15 W	2	30 W	2
	VANITY LIGHT	18 W	1	18 W	2
	EXHAUST FAN	30 W	1	30 W	2
	RECEPTACLES	900 W (AVG/MAX)	2	1800 W	2
UTILITY CLOSET	HOT WATER ON DEMAND RECEPTACLE	120 W	1	120 W	1
	UTILITY RECEPTACLE	20 W	1	20 W	1
BEDROOM	EXTERIOR WALL SCONCE	18 W	1	18 W	3
	EXTERIOR RECEPTACLE	100 (AVG)	1	100 W	3
	PENDANT LIGHTS	7 W	3	21 W	3
HVAC	12K BTU HEAT PUMP MINI-SPLIT	850 W	1	850 W	4

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DBL SCHEDULES



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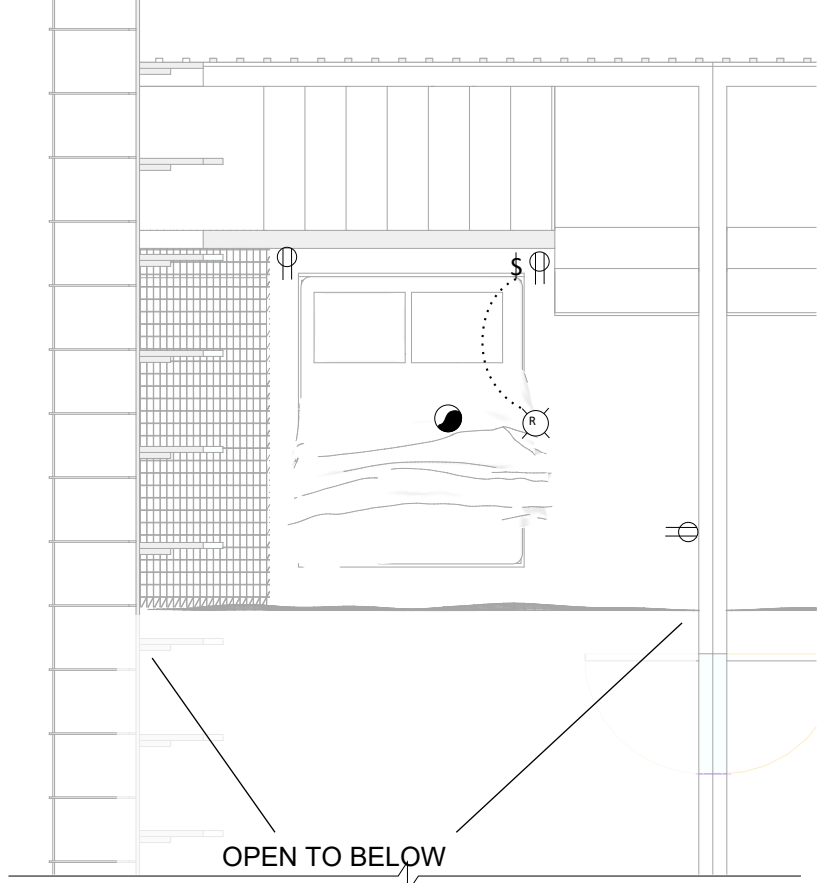
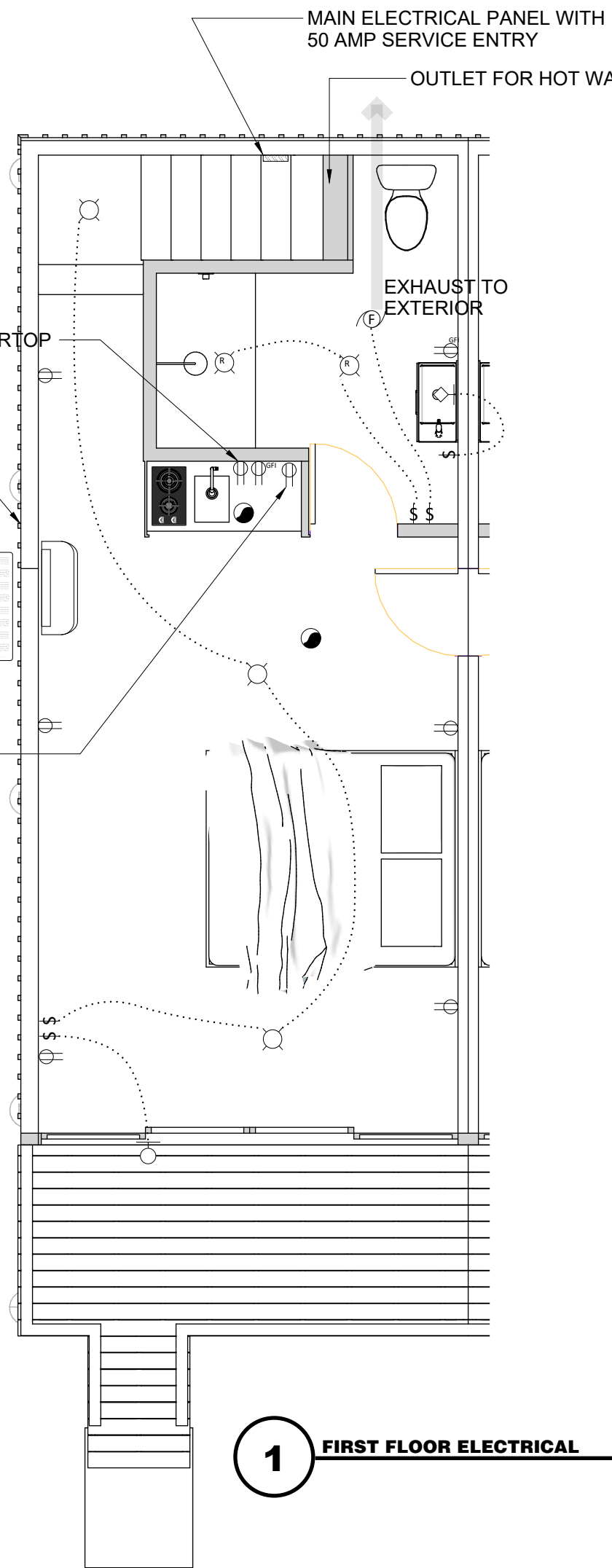
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DBL ELECTRICAL

A.21

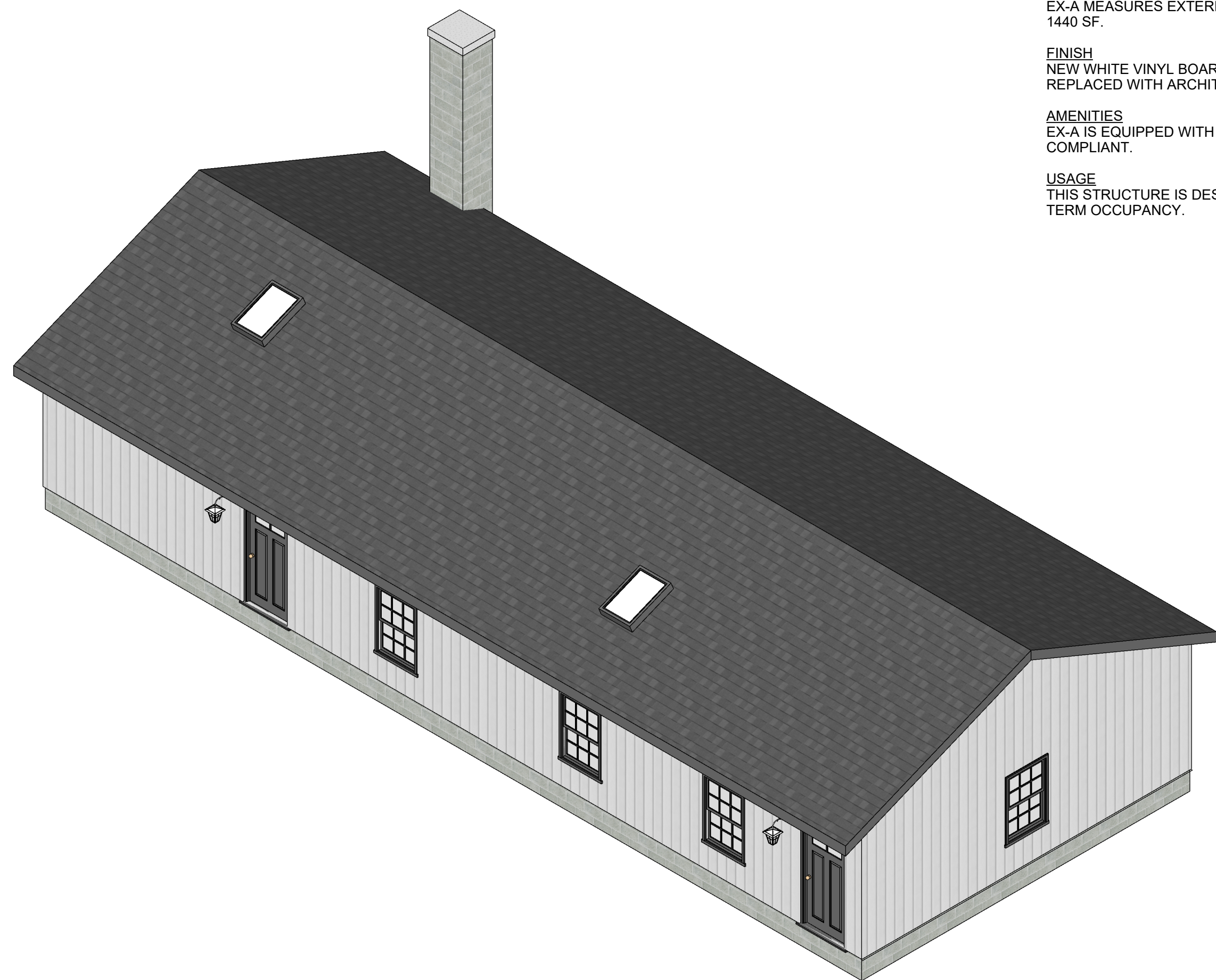


2 LOFT ELECTRICAL N.T.S.

1 FIRST FLOOR ELECTRICAL N.T.S.

NOTE: THE OPPOSITE HALF OF THE BUILDING IS A MIRROR IMAGE OF THE SHOWN LAYOUT. ALL DIMENSIONS, ANNOTATIONS, AND DETAILS APPLY EQUALLY TO BOTH SIDES UNLESS OTHERWISE NOTED.

ELECTRICAL LEGEND					
\$	SWITCH	☐	UTILITY LIGHT	⊖	RANGE/DRYER OUTLET
\$₃	THREE WAY SWITCH	☐	4 FT LIGHT	⊖ ^{DW}	DISHWASHER OUTLET
\$ _{dim}	DIMMER SWITCH	⊖	EXT. WALL MOUNTED LIGHT	⊖	REFRIGERATOR OUTLET
\$ _{occ}	OCCUPANCY SEN SOR	◇	INT. WALL SCONCE	⊖ ^W	WASHER OUTLET
●	CO/SMOKE DETECTOR	⊖	EXHAUST FAN	⊖ ^{GFI}	GFI OUTLET
⊖	RECESSED LIGHT	⊖	CEILING FAN	⊖	SINGLE DUPLEX OUTLET
⊖	FLUSH MOUNTED LIGHT			⊖	THERMOSTAT



EX-A - GENERAL NOTES

UNIT DIMENSIONS
EX-A MEASURES EXTERNALLY AT AN APPROXIMATE FOOTPRINT OF 1440 SF.

FINISH
NEW WHITE VINYL BOARD AND BATTEN SIDING INSTALLED. ROOF REPLACED WITH ARCHITECTURAL SHINGLES.

AMENITIES
EX-A IS EQUIPPED WITH TWO ROOMS, ONE OF WHICH IS ADA COMPLIANT.

USAGE
THIS STRUCTURE IS DESIGNED FOR BOTH SHORT-TERM AND LONG-TERM OCCUPANCY.

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TYPE EX-A
EXISTING
ADA & SINGLE UNIT



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EX-A
ELEVATIONS

A.23



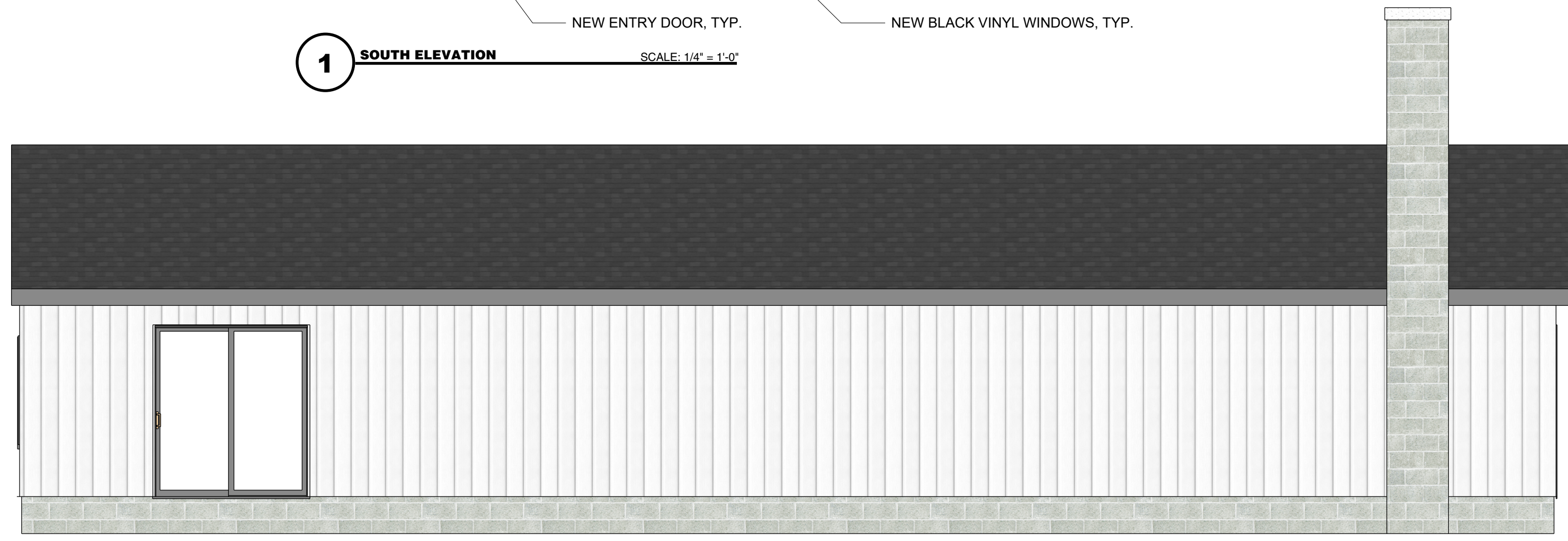
1 SOUTH ELEVATION SCALE: 1/4" = 1'-0"

EXISTING SKYLIGHTS TO REMAIN

NEW LIGHT, TYP.

NEW ENTRY DOOR, TYP.

NEW BLACK VINYL WINDOWS, TYP.



1 NORTH ELEVATION SCALE: 1/4" = 1'-0"



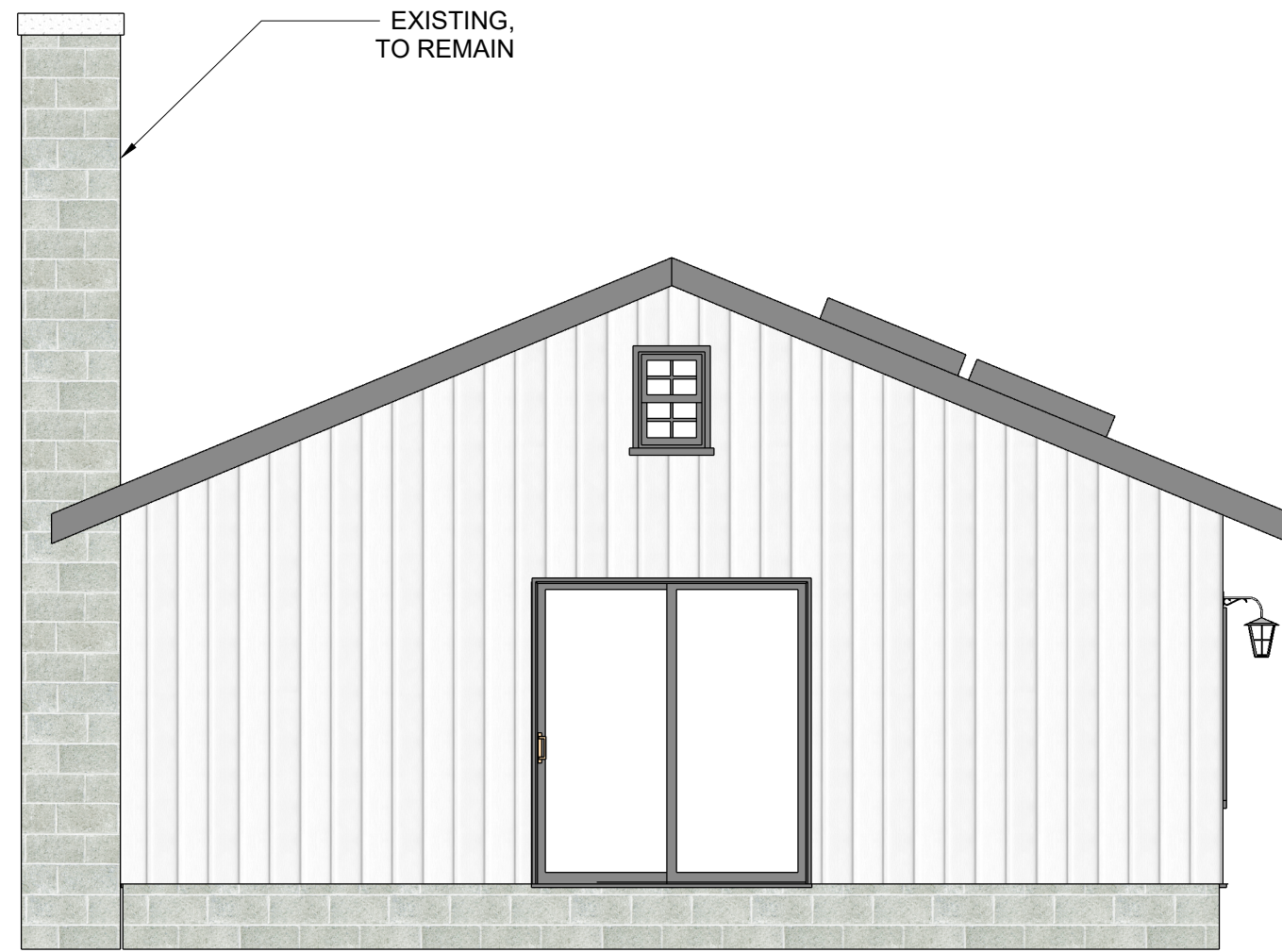
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**EX-A
ELEVATIONS**



1 WEST ELEVATION SCALE: 1/4" = 1'-0"



1 EAST ELEVATION SCALE: 1/4" = 1'-0"



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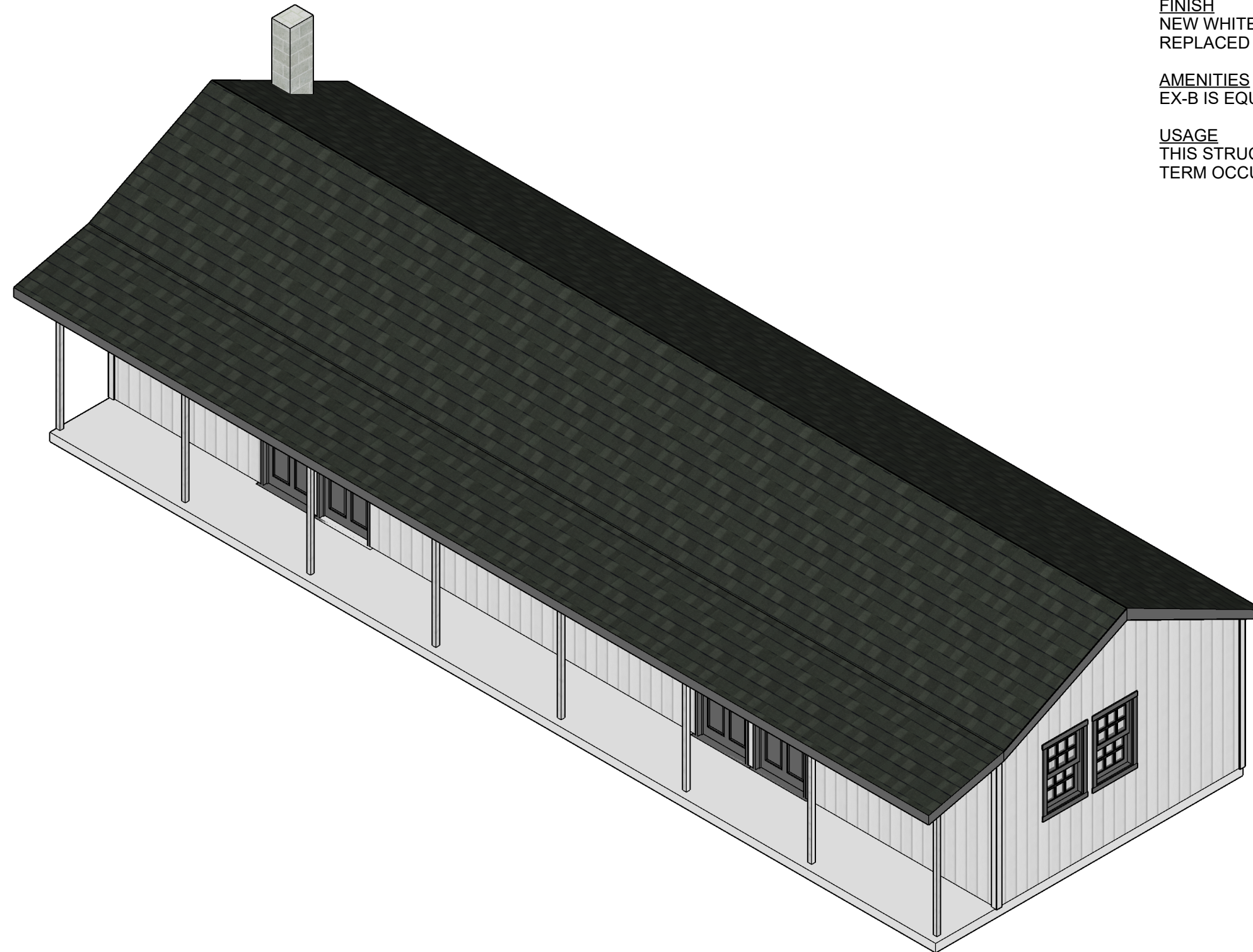
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**TYPE EX-B
EXISTING 4 UNIT**

A.25



EX-B - GENERAL NOTES

UNIT DIMENSIONS

EX-B MEASURES EXTERNALLY AT AN APPROXIMATE FOOTPRINT OF 906 SF.

FINISH

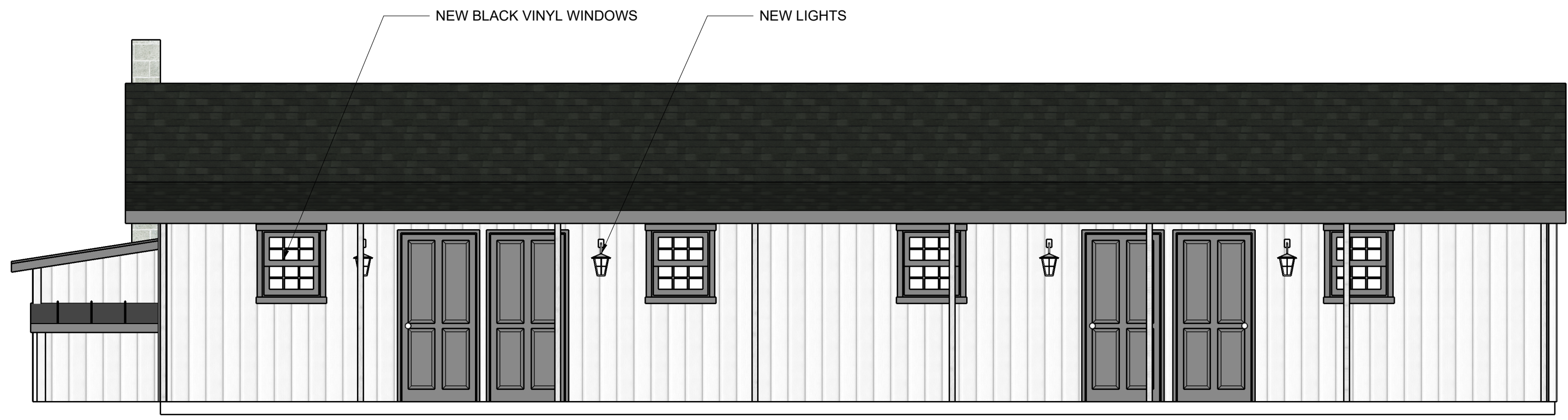
NEW WHITE VINYL BOARD AND BATTEN SIDING INSTALLED. ROOF REPLACED WITH NEW ARCHITECTURAL SHINGLES

AMENITIES

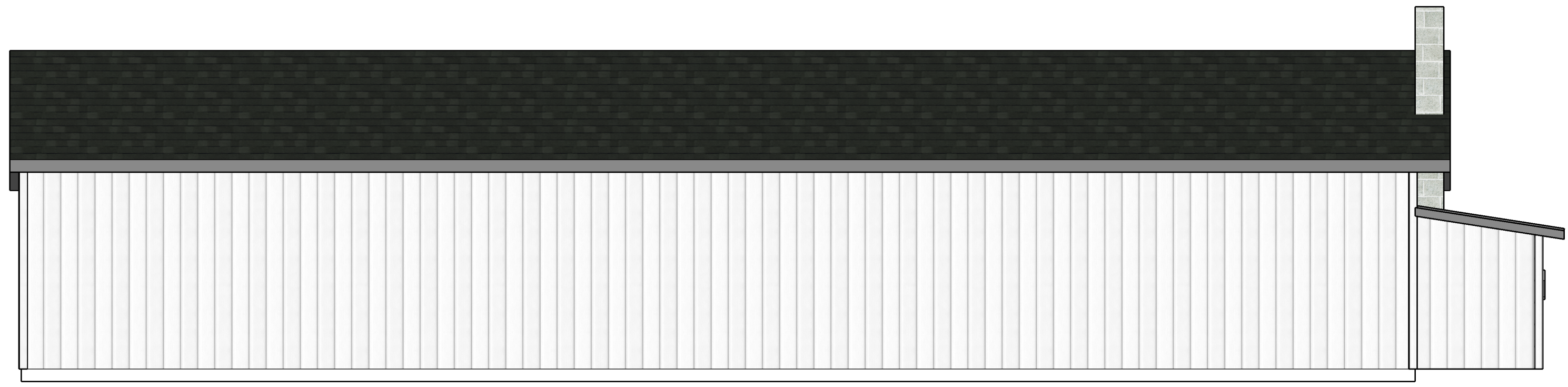
EX-B IS EQUIPPED WITH FOUR ROOMS.

USAGE

THIS STRUCTURE IS DESIGNED FOR BOTH SHORT-TERM AND LONG-TERM OCCUPANCY.



1 SOUTH ELEVATION SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION SCALE: 1/4" = 1'-0"

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EX-B
ELEVATIONS



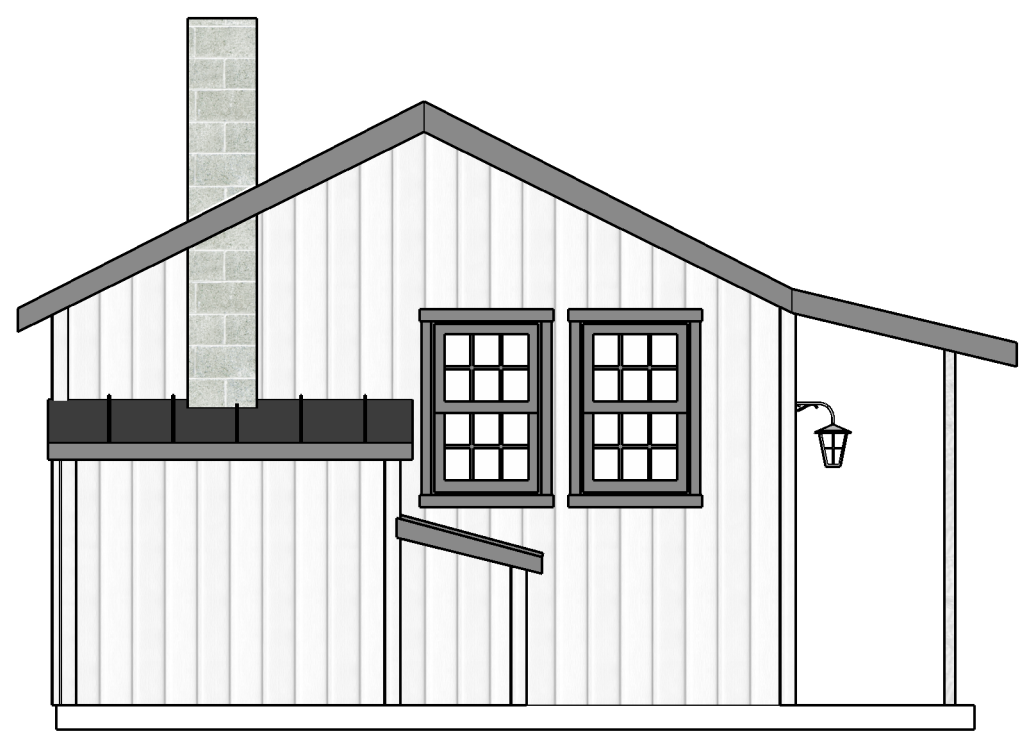
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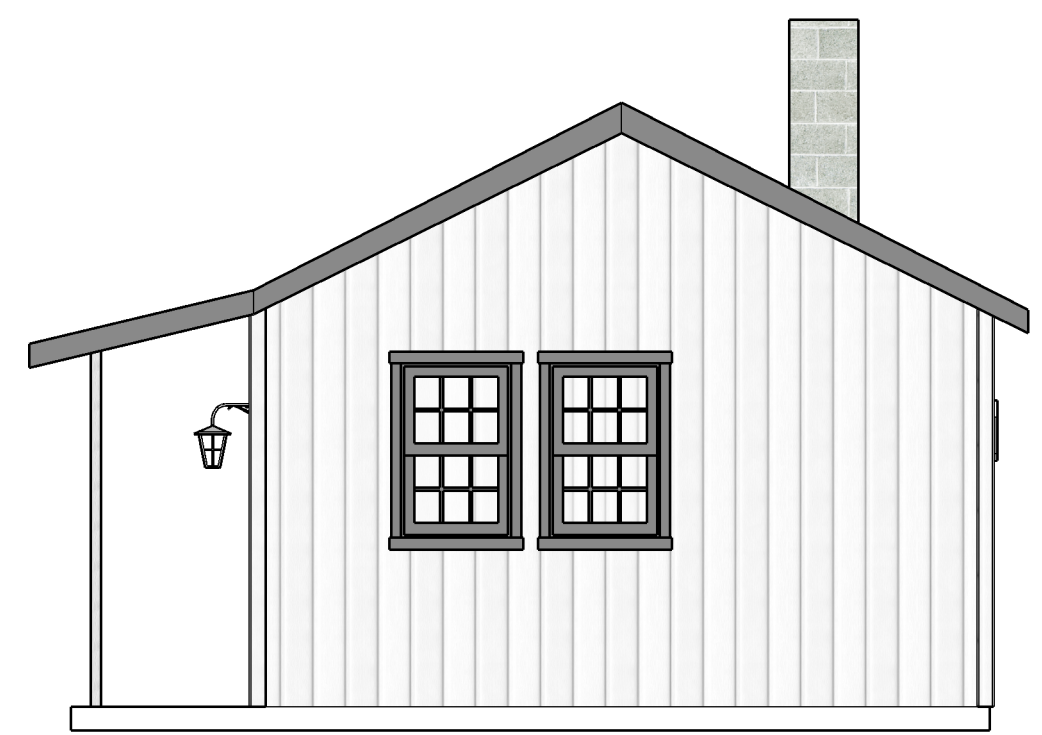
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**EX-B
ELEVATIONS**



1 WEST ELEVATION SCALE: 1/4" = 1'-0"



2 EAST ELEVATION SCALE: 1/4" = 1'-0"

RENDERING GENERAL NOTES

1. ALL NEW UNIT TYPES, AS ILLUSTRATED IN THE RENDERING, SHALL MAINTAIN A CONSISTENT AESTHETIC IN TERMS OF FINISH MATERIALS, DESIGN LANGUAGE, AND OVERALL AMBIENCE.
2. VARIATIONS OR MODIFICATIONS FROM THE PRESENTED RENDERINGS SHALL MAINTAIN THE INTENDED DESIGN INTEGRITY AND COHESIVENESS OF THE PROPOSED STRUCTURES.
3. ANY DEVIATIONS FROM THE ILLUSTRATED FINISHES AND DESIGN ELEMENTS REQUIRE PRIOR APPROVAL TO ENSURE ALIGNMENT WITH THE OVERARCHING DESIGN VISION.



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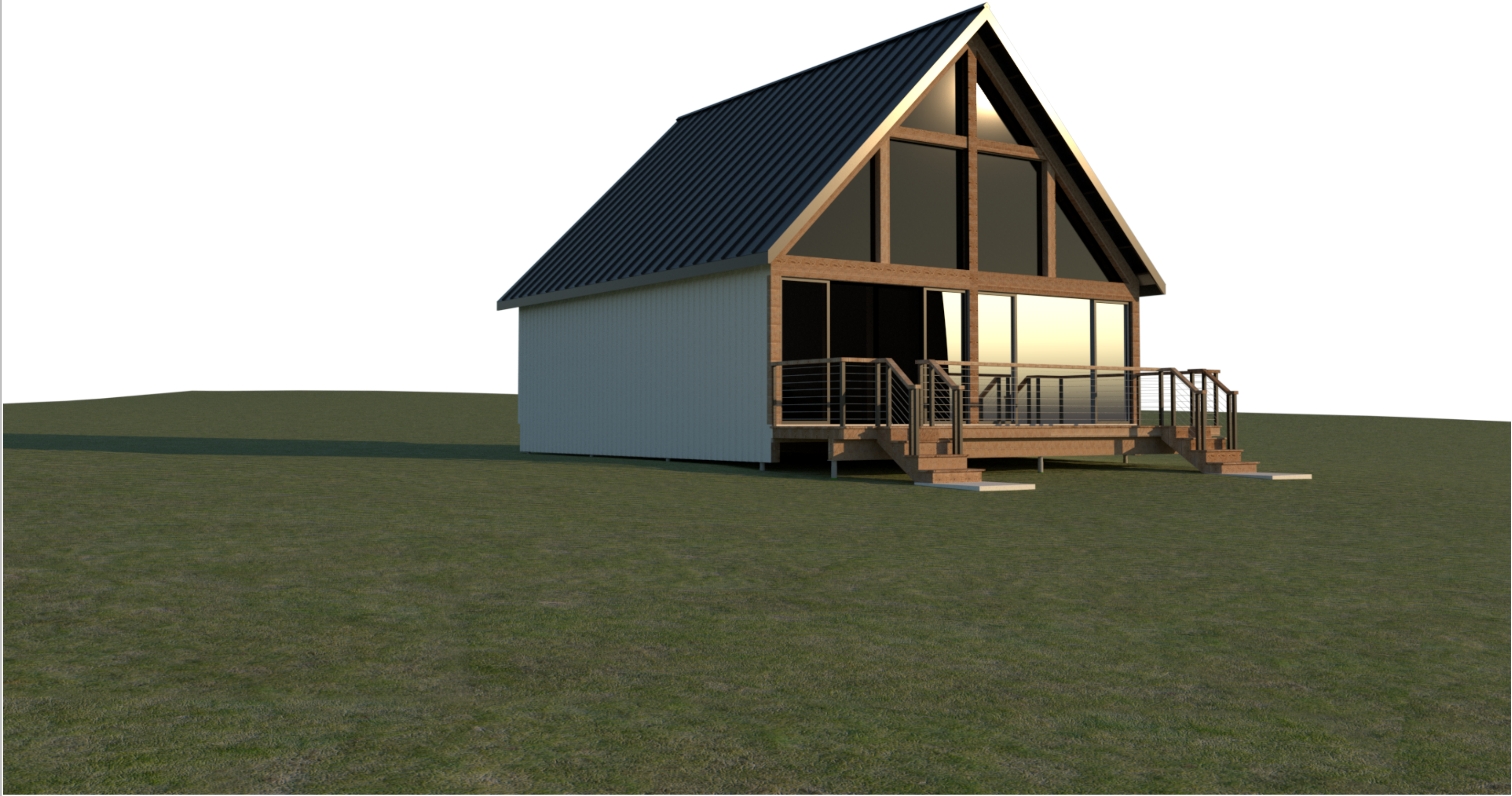
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SGL RENDER

RENDERING GENERAL NOTES

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DRAWN BY
Jaimie Gagné

DBL RENDER



JIG DESIGN
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CLIENT
Katie & Will Carson
75 Dieskau St
Lake George, NY

PROJECT
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**FINISHES &
LIGHTING**



STANDING SEAM METAL ROOFING



VINYL BOARD AND BATTEN SIDING



FACADE AND WINDOW TIMBER (SIMILAR)



UNIT ENTRY DOOR LIGHTING, OR EQ.



PEDESTRIAN/ GREEN SPACE LIGHTING
3W SOLAR OR EQ.



PARKING LOT LIGHTING, DOWN LIGHTING OR EQ.