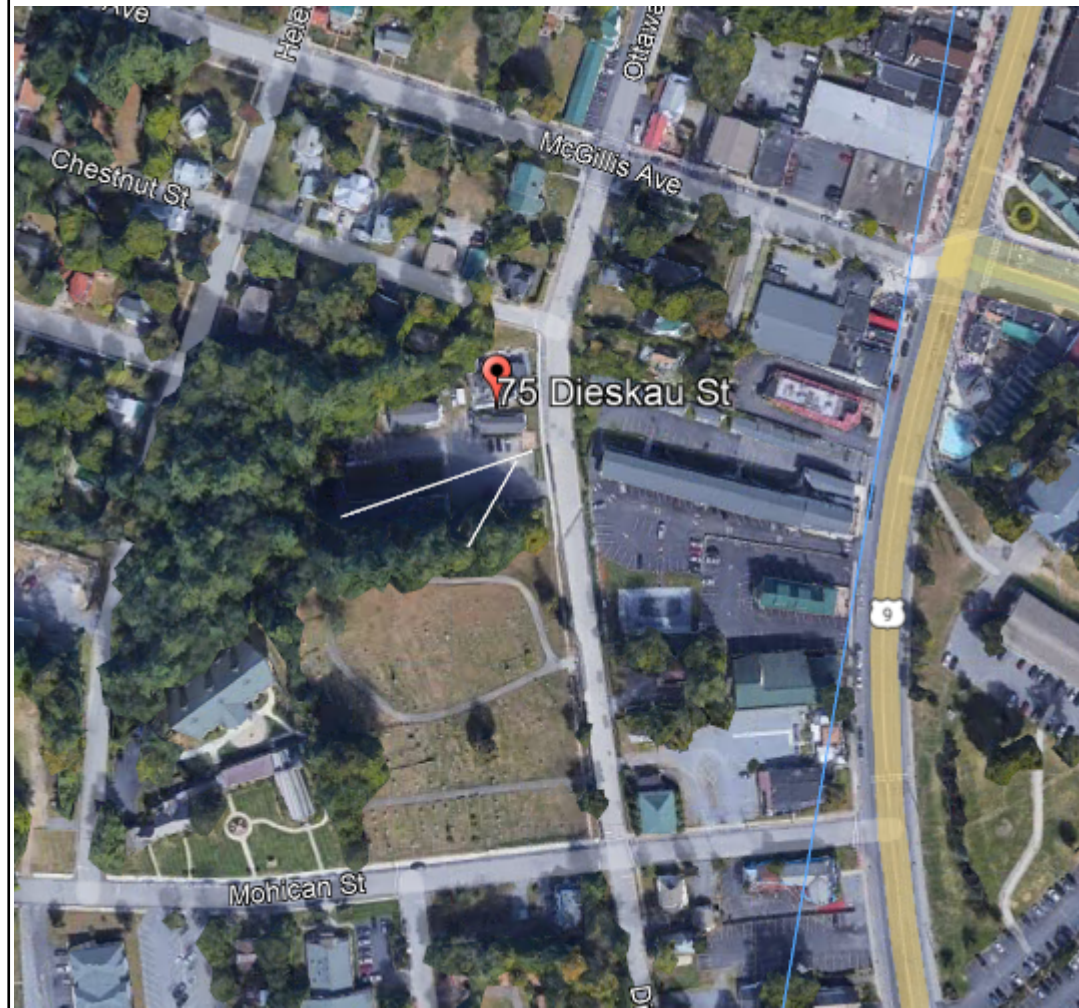


VICINITY MAP



SHEET INDEX

C.01 - SURVEY
C.02 - DEMOLITION PLAN
C.03 - SEDIMENT & EROSION PLAN
C.04 - SITE PLAN
C.05 - STORMWATER MANAGEMENT & GRADING PLAN
C.06 - UTILITIES PLAN
C.07 - LIGHTING PLAN
C.08 - LANDSCAPING PLAN
C.09 - STORMWATER DETAILS
C.10 - DETAILS
C.11 - DETAILS
C.12 - SEWER & BASIN DETAILS
C.13 - DUMPSTER AREA DETAILS

A.01 - GENERAL NOTES
A.02 - TYPE SGL NEW SINGLE OCCUPANCY UNIT
A.03 - SGL ELEVATIONS
A.04 - SGL FOUNDATION & FLOOR FRAMING PLAN
A.05 - SGL FIRST FLOOR & LOFT PLAN
A.06 - SGL SECTIONS & ELEVATIONS
A.07 - SGL ENVELOPE & WINDOW DETAILS
A.08 - SGL TRUSS DETAILS
A.09 - SGL SPIRAL STAIR DETAIL
A.10 - SGL DETAILS & SCHEDULES
A.11 - PLUMBING CHASE DETAIL
A.12 - SGL ELECTRICAL PLANS & SCHEDULES
A.13 - DBL GENERAL NOTES
A.14 - DBL ELEVATIONS
A.15 - DBL FOUNDATION & FRAMING PLAN
A.16 - DBL FIRST FLOOR PLAN
A.17 - DBL LOFT PLAN
A.18 - DBL SECTIONS & DETAILS
A.19 - DBL WINDOW & ENVELOPE DETAILS
A.20 - DBL SCHEDULES
A.21 - DBL ELECTRICAL
A.22 - TYPE EX-A EXISTING ADA & SINGLE UNIT
A.23 - EX-A ELEVATIONS
A.24 - EX-A ELEVATIONS
A.25 - TYPE EX-B EXISTING 4 UNIT
A.26 - EX-B ELEVATIONS
A.27 - EX-B ELEVATIONS
A.28 - SGL RENDER

LEGAL DESCRIPTION

ZONING DISTRICT - CMU
SECT-BLK-LOT - 251.18-4-25
LOT AREA - 1.6 ACRES



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Carson

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units

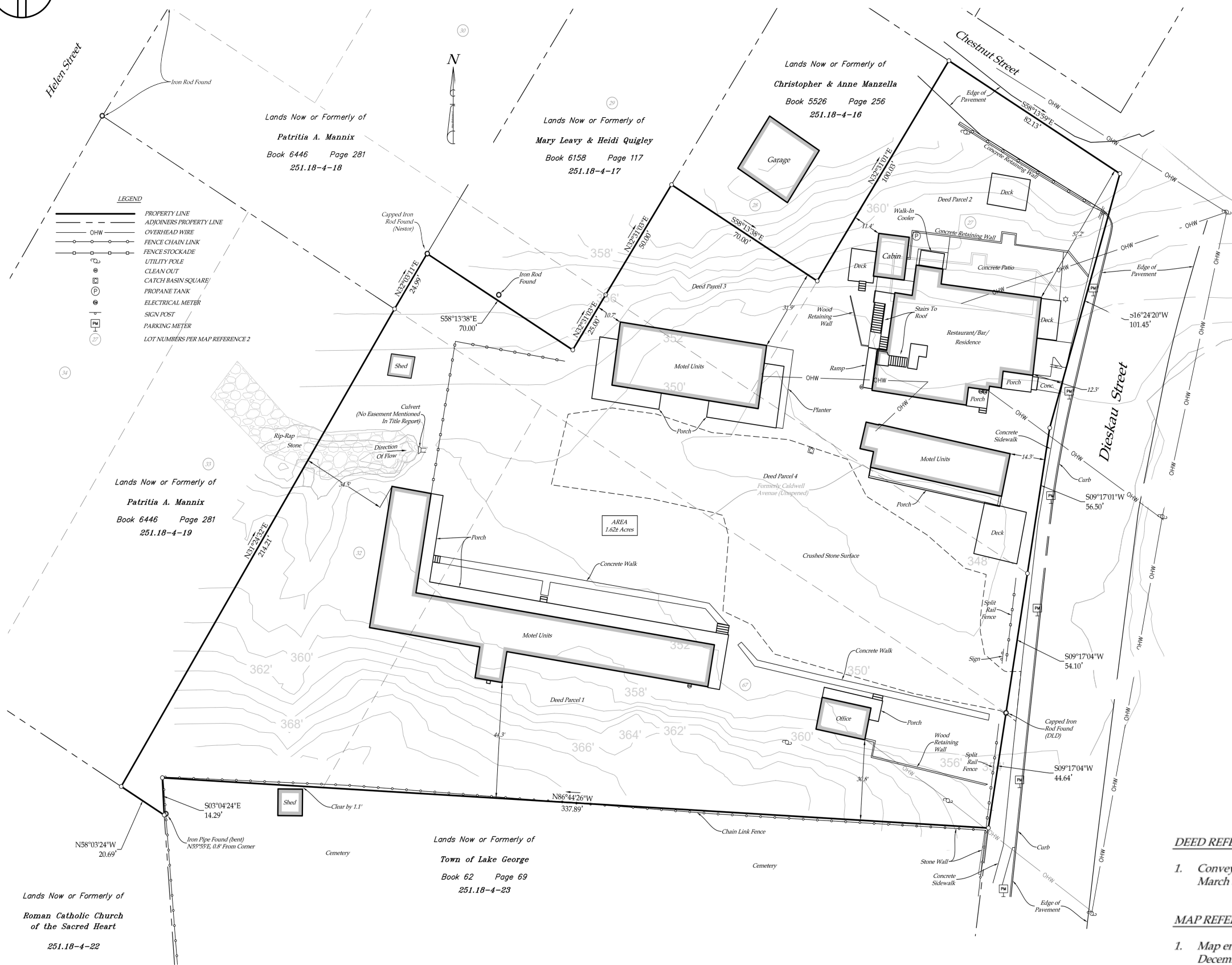
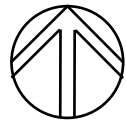
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75 DIESKAU ST

North



- LEGEND**
- PROPERTY LINE
 - ADJOINERS PROPERTY LINE
 - OVERHEAD WIRE
 - FENCE CHAIN LINK
 - FENCE STOCKADE
 - UTILITY POLE
 - CLEAN OUT
 - CATCH BASIN SQUARE
 - PROFANE TANK
 - ELECTRICAL METER
 - SIGN POST
 - PARKING METER
 - LOT NUMBERS PER MAP REFERENCE 2

MAP NOTES

1. Boundary information shown hereon was compiled from map reference #1 an actual field survey conducted on October 13, 2022.
2. North orientation and bearing base per map reference #1.
3. Warren County tax parcel 251.18-4-25.
4. This survey does not constitute a record search by Darrah Land Surveying, PLLC to determine ownership or easements of record. For all information regarding easements, rights of way and title of record the surveyor relied on commitment no. CT22-73264. Prepared by Chicago Title Insurance Company, Certified September 21, 2022.
5. The location of underground improvements or encroachments, if any exist, or as shown hereon, are not certified. There may be other underground utilities, the existence of which are unknown. Size and location of all underground utilities must be verified by the appropriate authorities. The Underground Facilities Protective Organization must be notified prior to conducting test borings, excavation and construction.
6. Certifications on the boundary map signify that the map was prepared in accordance with the existing Code of Practice for Land Surveys adopted by the New York State Association of Professional Land Surveyors, Inc. The certification is limited to persons for whom the boundary survey map is prepared, to the title company, to the governmental agency, and to the lending institution listed on this boundary survey map.
7. The certifications hereon are not transferable.
8. Reproduction or copying of this document may be a violation of copyright law unless permission of the author and / or copyright holder is obtained.
9. A copy of this document without a proper application of the surveyor's embossed seal should be assumed to be an unauthorized copy.
10. Property corner monuments were not placed as a part of this survey unless otherwise noted.

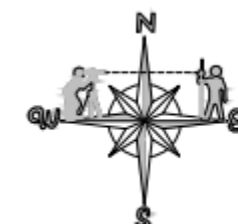
DEED REFERENCE:

1. Conveyance to Woodbine Hotel LLC by deed dated March 31, 2015, filed in the Warren County Clerks Office on March 31, 2015 in Book 5133 of Deeds at page 94.

MAP REFERENCES:

1. Map entitled "Map of a survey of lands of King Neptune, Inc.", prepared by D.L. Dickinson Associates, dated December 15, 1986, last revised March 27, 2015. Darrah Land Surveying, PLLC owns the records of D.L. Dickinson Associates.
2. Map entitled "The Village of Caldwell" prepared by L.B. Black, dated April, 1886, filed in the Warren County Clerk's Office in RSC Folder/227, Instrument #1886-3000004

1 Existing Conditions N.T.S.



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 59 Lake Avenue, Lake Luzerne, New York 12846
 Voice: (518) 798-4692
 or (518) 654-9416

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 75 Dieskau St
 Lake George, NY

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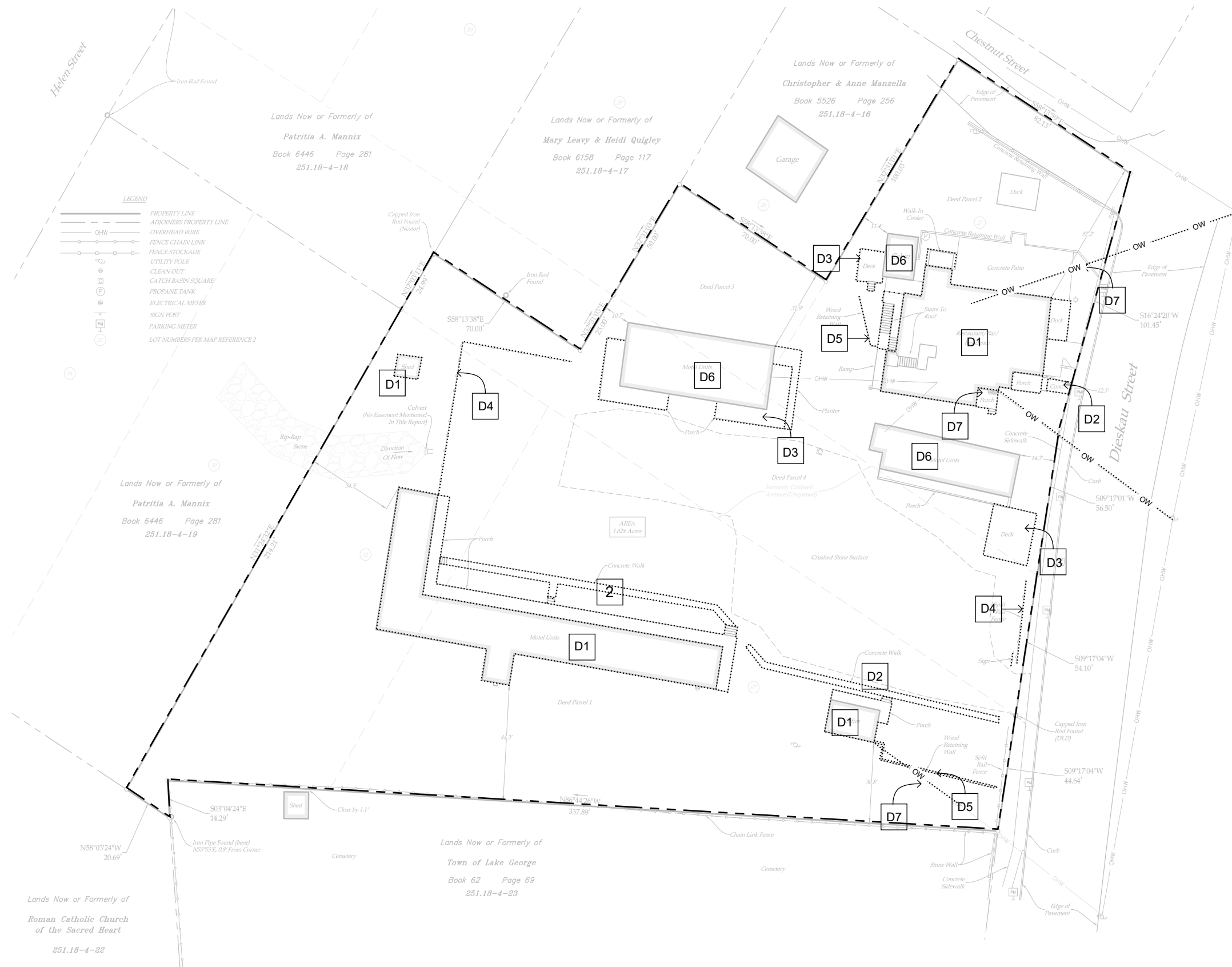
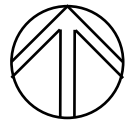
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SURVEY

C.01

North



DEMOLITION NOTES

- D 1. EXISTING STRUCTURE DEMOLITION: ALL EXISTING MOTEL STRUCTURES AND OLD HOUSE CONVERTED TO BAR ARE TO BE COMPLETELY DEMOLISHED AND REMOVED FROM THE SITE, IN COMPLIANCE WITH SECTION 3303 OF THE 2018 IBC.
- D 2. CONCRETE WALK REMOVAL: ALL EXISTING CONCRETE WALKWAYS ARE TO BE REMOVED AND MATERIALS PROPERLY DISPOSED OF, PER LOCAL AND STATE REGULATIONS.
- D 3. DECK REMOVAL: EXISTING DECK STRUCTURE IS TO BE COMPLETELY DEMOLISHED AND REMOVED. DISPOSAL MUST COMPLY WITH SECTION 3303 OF THE 2018 IBC.
- D 4. FENCING AND SIGNAGE REMOVAL: ALL EXISTING FENCING AND SIGNAGE TO BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS.
- D 5. RETAINING WALL REMOVAL: EXISTING RETAINING WALL TO BE DEMOLISHED AND MATERIALS PROPERLY DISPOSED OF, FOLLOWING LOCAL AND STATE GUIDELINES.
- D 6. EXISTING STRUCTURES TO REMAIN: THE TWO EXISTING STRUCTURES WITH APARTMENT-LIKE UNITS AND FOUR SINGLE OCCUPANCY UNITS WILL REMAIN UNTOUCHED DURING DEMOLITION.
- D 7. OVERHEAD WIRE DISCONNECTION: COORDINATE WITH NATIONAL GRID TO DISCONNECT AND TERMINATE ANY OVERHEAD WIRES ATTACHED TO THE STRUCTURE PRIOR TO DEMOLITION. ENSURE ALL PROCEDURES AND SAFETY PROTOCOLS ARE FOLLOWED AS OUTLINED BY THE UTILITY PROVIDER.

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DEMOLITION PLAN

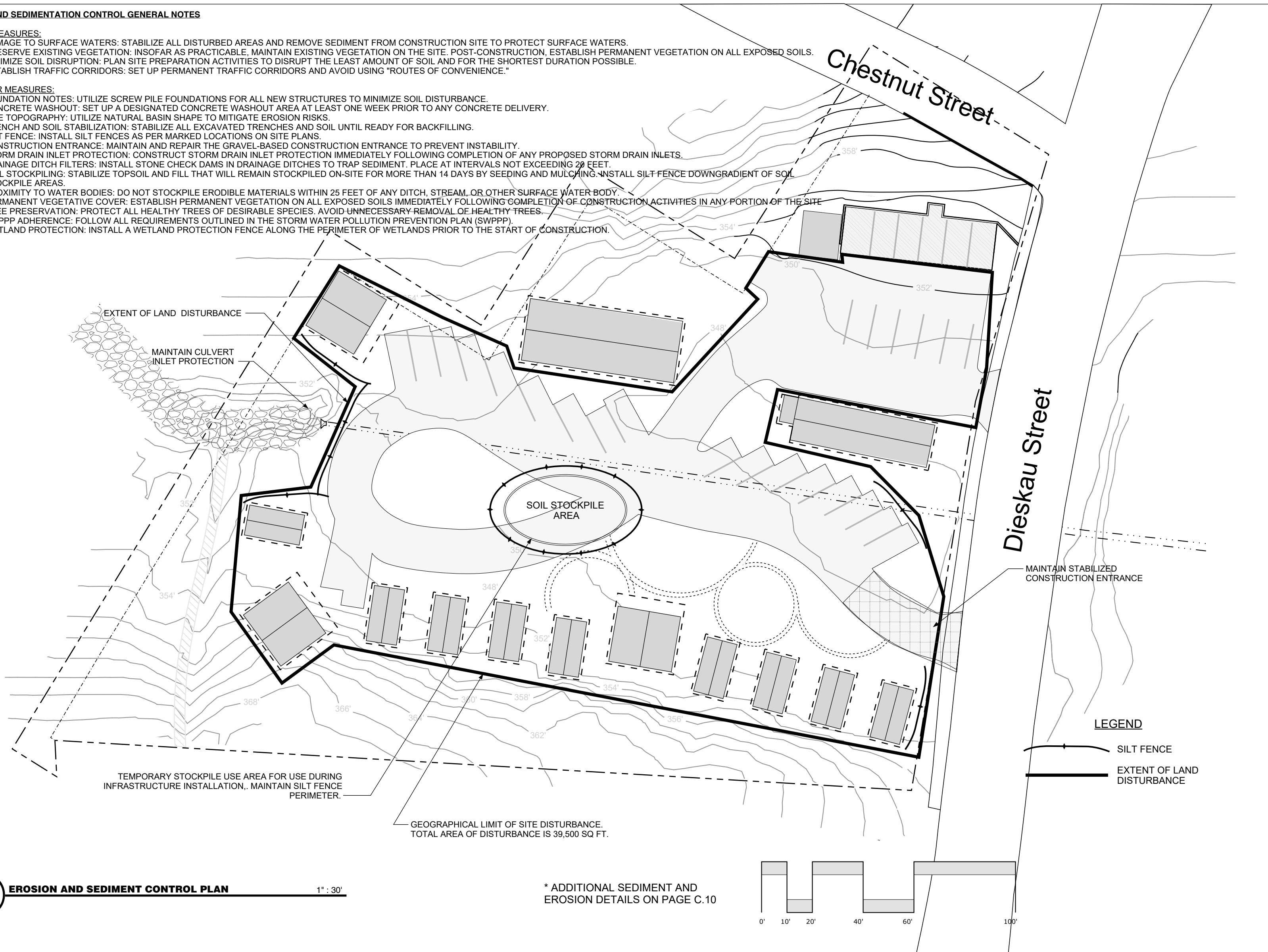
EROSION AND SEDIMENTATION CONTROL GENERAL NOTES

GENERAL MEASURES:

1. DAMAGE TO SURFACE WATERS: STABILIZE ALL DISTURBED AREAS AND REMOVE SEDIMENT FROM CONSTRUCTION SITE TO PROTECT SURFACE WATERS.
2. PRESERVE EXISTING VEGETATION: INSOFAR AS PRACTICABLE, MAINTAIN EXISTING VEGETATION ON THE SITE. POST-CONSTRUCTION, ESTABLISH PERMANENT VEGETATION ON ALL EXPOSED SOILS.
3. MINIMIZE SOIL DISRUPTION: PLAN SITE PREPARATION ACTIVITIES TO DISRUPT THE LEAST AMOUNT OF SOIL AND FOR THE SHORTEST DURATION POSSIBLE.
4. ESTABLISH TRAFFIC CORRIDORS: SET UP PERMANENT TRAFFIC CORRIDORS AND AVOID USING "ROUTES OF CONVENIENCE."

PARTICULAR MEASURES:

1. FOUNDATION NOTES: UTILIZE SCREW PILE FOUNDATIONS FOR ALL NEW STRUCTURES TO MINIMIZE SOIL DISTURBANCE.
2. CONCRETE WASHOUT: SET UP A DESIGNATED CONCRETE WASHOUT AREA AT LEAST ONE WEEK PRIOR TO ANY CONCRETE DELIVERY.
3. SITE TOPOGRAPHY: UTILIZE NATURAL BASIN SHAPE TO MITIGATE EROSION RISKS.
4. TRENCH AND SOIL STABILIZATION: STABILIZE ALL EXCAVATED TRENCHES AND SOIL UNTIL READY FOR BACKFILLING.
5. SILT FENCE: INSTALL SILT FENCES AS PER MARKED LOCATIONS ON SITE PLANS.
6. CONSTRUCTION ENTRANCE: MAINTAIN AND REPAIR THE GRAVEL-BASED CONSTRUCTION ENTRANCE TO PREVENT INSTABILITY.
7. STORM DRAIN INLET PROTECTION: CONSTRUCT STORM DRAIN INLET PROTECTION IMMEDIATELY FOLLOWING COMPLETION OF ANY PROPOSED STORM DRAIN INLETS.
8. DRAINAGE DITCH FILTERS: INSTALL STONE CHECK DAMS IN DRAINAGE DITCHES TO TRAP SEDIMENT. PLACE AT INTERVALS NOT EXCEEDING 20 FEET.
9. SOIL STOCKPILING: STABILIZE TOPSOIL AND FILL THAT WILL REMAIN STOCKPILED ON-SITE FOR MORE THAN 14 DAYS BY SEEDING AND MULCHING. INSTALL SILT FENCE DOWNGRADIENT OF SOIL STOCKPILE AREAS.
10. PROXIMITY TO WATER BODIES: DO NOT STOCKPILE ERODIBLE MATERIALS WITHIN 25 FEET OF ANY DITCH, STREAM, OR OTHER SURFACE WATER BODY.
11. PERMANENT VEGETATIVE COVER: ESTABLISH PERMANENT VEGETATION ON ALL EXPOSED SOILS IMMEDIATELY FOLLOWING COMPLETION OF CONSTRUCTION ACTIVITIES IN ANY PORTION OF THE SITE.
12. TREE PRESERVATION: PROTECT ALL HEALTHY TREES OF DESIRABLE SPECIES. AVOID UNNECESSARY REMOVAL OF HEALTHY TREES.
13. SWPPP ADHERENCE: FOLLOW ALL REQUIREMENTS OUTLINED IN THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP).
14. WETLAND PROTECTION: INSTALL A WETLAND PROTECTION FENCE ALONG THE PERIMETER OF WETLANDS PRIOR TO THE START OF CONSTRUCTION.

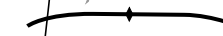



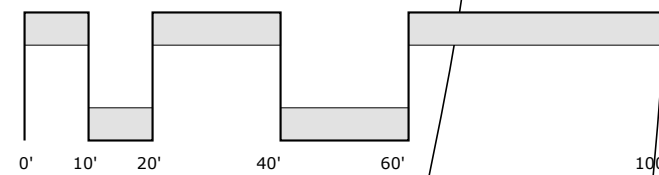
TEMPORARY STOCKPILE USE AREA FOR USE DURING INFRASTRUCTURE INSTALLATION. MAINTAIN SILT FENCE PERIMETER.

GEOGRAPHICAL LIMIT OF SITE DISTURBANCE. TOTAL AREA OF DISTURBANCE IS 39,500 SQ. FT.

MAINTAIN STABILIZED CONSTRUCTION ENTRANCE

LEGEND

-  SILT FENCE
-  EXTENT OF LAND DISTURBANCE



1

EROSION AND SEDIMENT CONTROL PLAN

1" : 30'

* ADDITIONAL SEDIMENT AND EROSION DETAILS ON PAGE C.10



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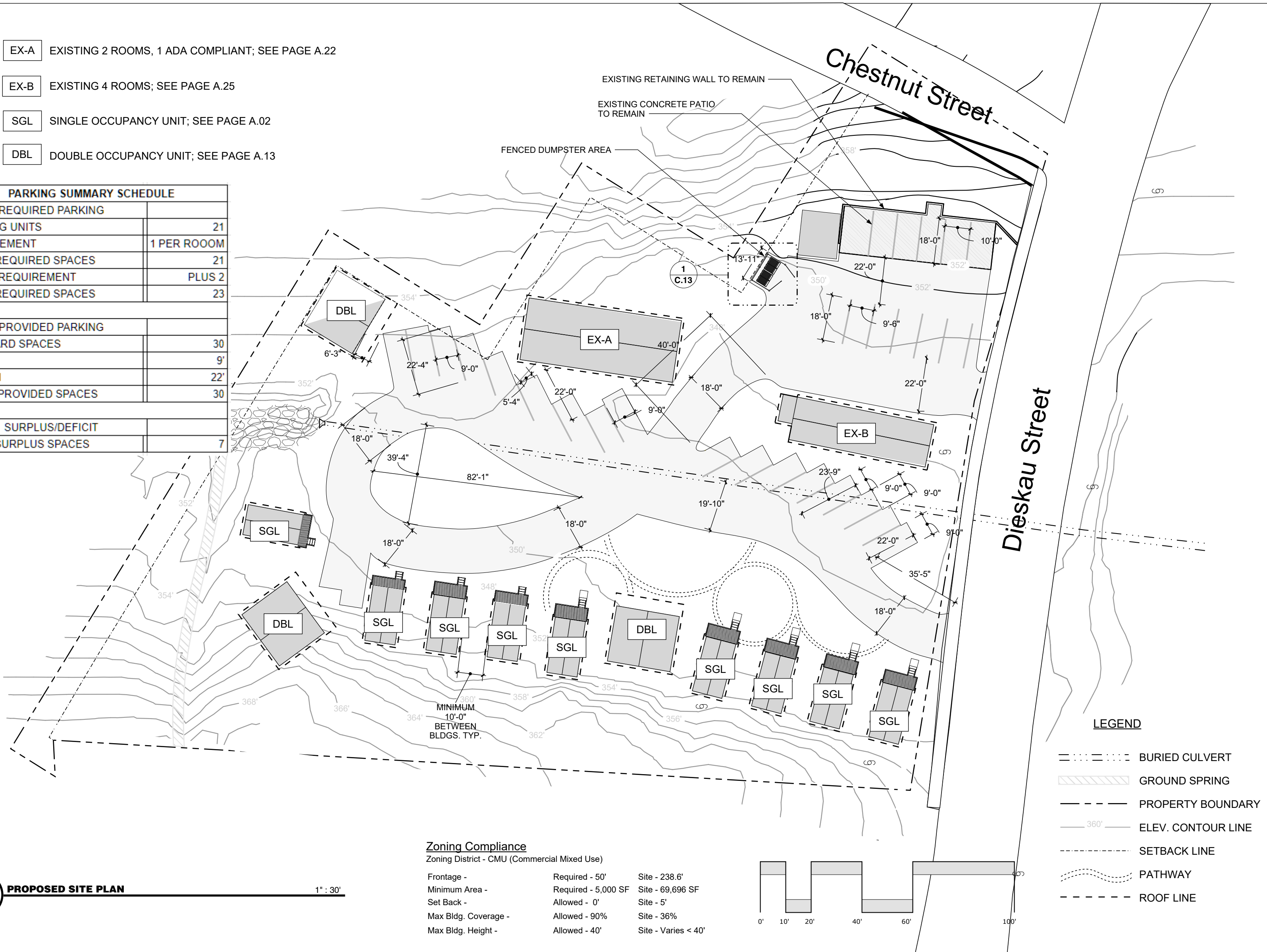
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SEDIMENT & EROSION PLAN

C.03

- EX-A EXISTING 2 ROOMS, 1 ADA COMPLIANT; SEE PAGE A.22
- EX-B EXISTING 4 ROOMS; SEE PAGE A.25
- SGL SINGLE OCCUPANCY UNIT; SEE PAGE A.02
- DBL DOUBLE OCCUPANCY UNIT; SEE PAGE A.13

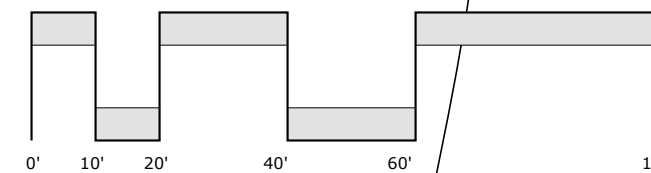
PARKING SUMMARY SCHEDULE	
REQUIRED PARKING	
LODGING UNITS	21
REQUIREMENT	1 PER ROOM
TOTAL REQUIRED SPACES	21
ADD'TL REQUIREMENT	PLUS 2
TOTAL REQUIRED SPACES	23
PROVIDED PARKING	
STANDARD SPACES	30
WIDTH	9'
LENGTH	22'
TOTAL PROVIDED SPACES	30
SURPLUS/DEFICIT	
TOTAL SURPLUS SPACES	7



1 PROPOSED SITE PLAN 1" : 30'

Zoning Compliance
Zoning District - CMU (Commercial Mixed Use)

Frontage -	Required - 50'	Site - 238.6'
Minimum Area -	Required - 5,000 SF	Site - 69,696 SF
Set Back -	Allowed - 0'	Site - 5'
Max Bldg. Coverage -	Allowed - 90%	Site - 36%
Max Bldg. Height -	Allowed - 40'	Site - Varies < 40'



LEGEND

- BURIED CULVERT
- GROUND SPRING
- PROPERTY BOUNDARY
- ELEV. CONTOUR LINE
- SETBACK LINE
- PATHWAY
- ROOF LINE



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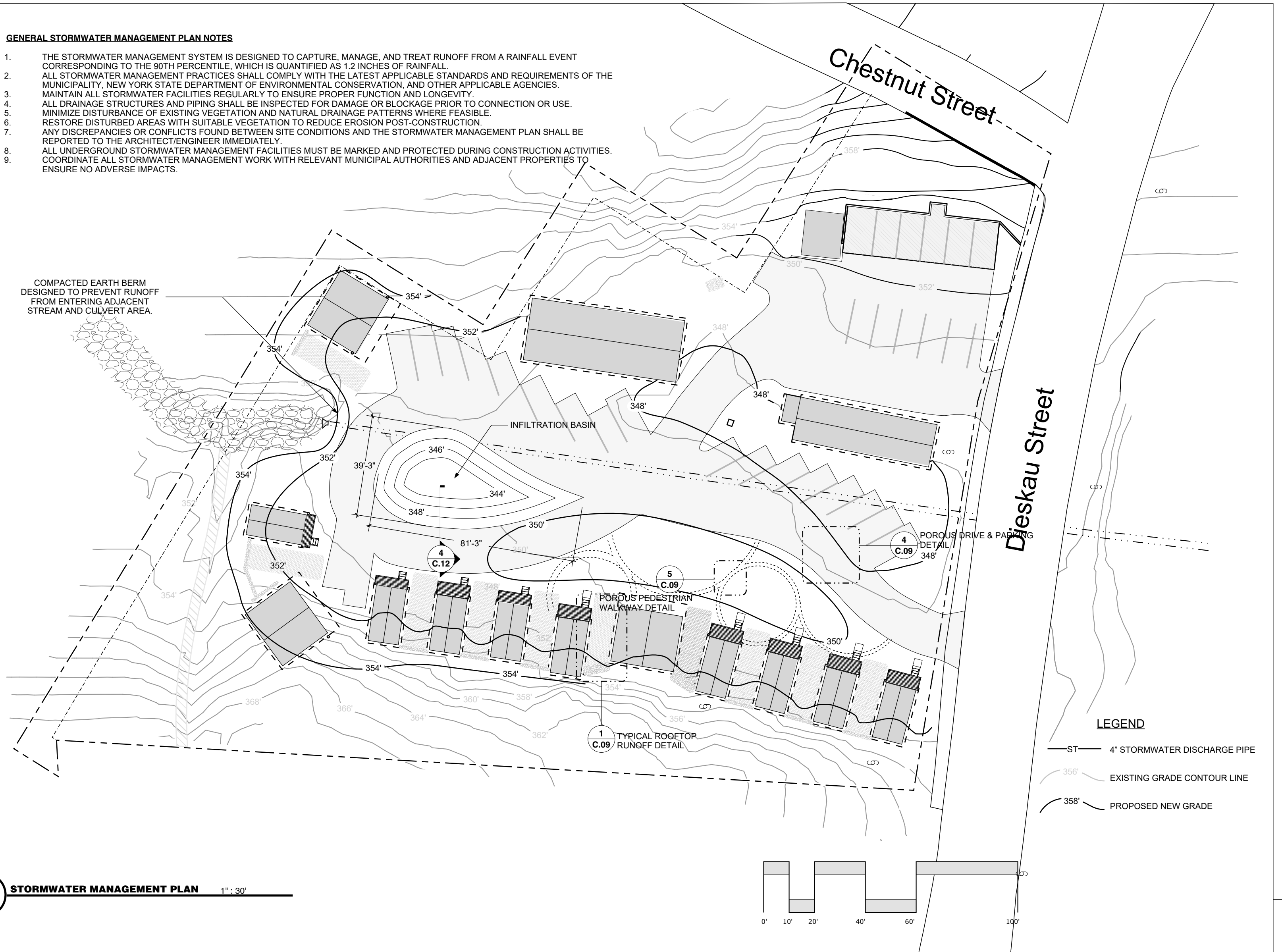
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C.04

GENERAL STORMWATER MANAGEMENT PLAN NOTES

1. THE STORMWATER MANAGEMENT SYSTEM IS DESIGNED TO CAPTURE, MANAGE, AND TREAT RUNOFF FROM A RAINFALL EVENT CORRESPONDING TO THE 90TH PERCENTILE, WHICH IS QUANTIFIED AS 1.2 INCHES OF RAINFALL.
2. ALL STORMWATER MANAGEMENT PRACTICES SHALL COMPLY WITH THE LATEST APPLICABLE STANDARDS AND REQUIREMENTS OF THE MUNICIPALITY, NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION, AND OTHER APPLICABLE AGENCIES.
3. MAINTAIN ALL STORMWATER FACILITIES REGULARLY TO ENSURE PROPER FUNCTION AND LONGEVITY.
4. ALL DRAINAGE STRUCTURES AND PIPING SHALL BE INSPECTED FOR DAMAGE OR BLOCKAGE PRIOR TO CONNECTION OR USE.
5. MINIMIZE DISTURBANCE OF EXISTING VEGETATION AND NATURAL DRAINAGE PATTERNS WHERE FEASIBLE.
6. RESTORE DISTURBED AREAS WITH SUITABLE VEGETATION TO REDUCE EROSION POST-CONSTRUCTION.
7. ANY DISCREPANCIES OR CONFLICTS FOUND BETWEEN SITE CONDITIONS AND THE STORMWATER MANAGEMENT PLAN SHALL BE REPORTED TO THE ARCHITECT/ENGINEER IMMEDIATELY.
8. ALL UNDERGROUND STORMWATER MANAGEMENT FACILITIES MUST BE MARKED AND PROTECTED DURING CONSTRUCTION ACTIVITIES.
9. COORDINATE ALL STORMWATER MANAGEMENT WORK WITH RELEVANT MUNICIPAL AUTHORITIES AND ADJACENT PROPERTIES TO ENSURE NO ADVERSE IMPACTS.

COMPACTED EARTH BERM
DESIGNED TO PREVENT RUNOFF
FROM ENTERING ADJACENT
STREAM AND CULVERT AREA.



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**STORMWATER
MANAGEMENT &
GRADING PLAN**

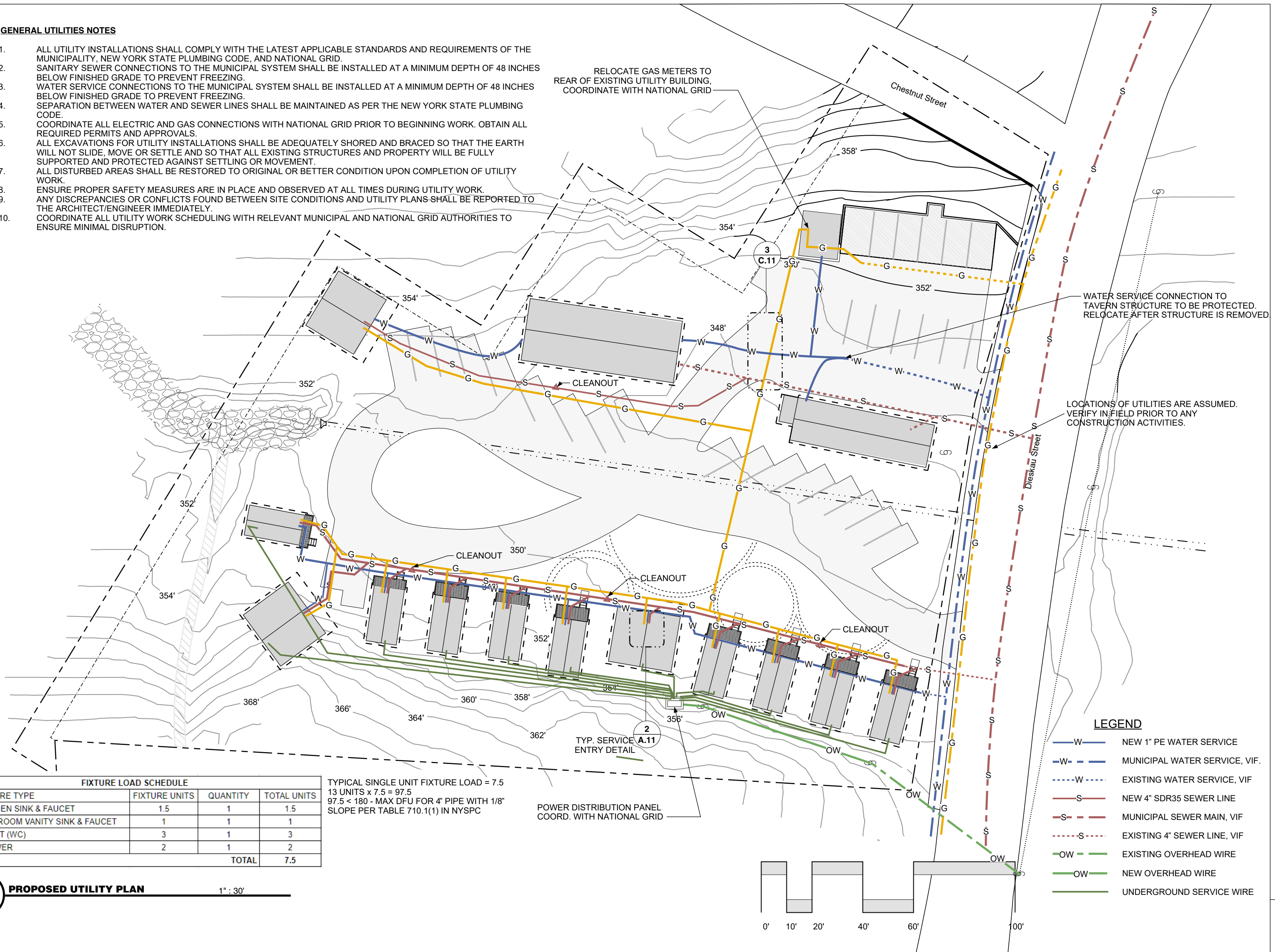
GENERAL UTILITIES NOTES

1. ALL UTILITY INSTALLATIONS SHALL COMPLY WITH THE LATEST APPLICABLE STANDARDS AND REQUIREMENTS OF THE MUNICIPALITY, NEW YORK STATE PLUMBING CODE, AND NATIONAL GRID.
2. SANITARY SEWER CONNECTIONS TO THE MUNICIPAL SYSTEM SHALL BE INSTALLED AT A MINIMUM DEPTH OF 48 INCHES BELOW FINISHED GRADE TO PREVENT FREEZING.
3. WATER SERVICE CONNECTIONS TO THE MUNICIPAL SYSTEM SHALL BE INSTALLED AT A MINIMUM DEPTH OF 48 INCHES BELOW FINISHED GRADE TO PREVENT FREEZING.
4. SEPARATION BETWEEN WATER AND SEWER LINES SHALL BE MAINTAINED AS PER THE NEW YORK STATE PLUMBING CODE.
5. COORDINATE ALL ELECTRIC AND GAS CONNECTIONS WITH NATIONAL GRID PRIOR TO BEGINNING WORK. OBTAIN ALL REQUIRED PERMITS AND APPROVALS.
6. ALL EXCAVATIONS FOR UTILITY INSTALLATIONS SHALL BE ADEQUATELY SHORED AND BRACED SO THAT THE EARTH WILL NOT SLIDE, MOVE OR SETTLE AND SO THAT ALL EXISTING STRUCTURES AND PROPERTY WILL BE FULLY SUPPORTED AND PROTECTED AGAINST SETTLING OR MOVEMENT.
7. ALL DISTURBED AREAS SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION UPON COMPLETION OF UTILITY WORK.
8. ENSURE PROPER SAFETY MEASURES ARE IN PLACE AND OBSERVED AT ALL TIMES DURING UTILITY WORK.
9. ANY DISCREPANCIES OR CONFLICTS FOUND BETWEEN SITE CONDITIONS AND UTILITY PLANS SHALL BE REPORTED TO THE ARCHITECT/ENGINEER IMMEDIATELY.
10. COORDINATE ALL UTILITY WORK SCHEDULING WITH RELEVANT MUNICIPAL AND NATIONAL GRID AUTHORITIES TO ENSURE MINIMAL DISRUPTION.

RELOCATE GAS METERS TO REAR OF EXISTING UTILITY BUILDING, COORDINATE WITH NATIONAL GRID

WATER SERVICE CONNECTION TO TAVERN STRUCTURE TO BE PROTECTED. RELOCATE AFTER STRUCTURE IS REMOVED.

LOCATIONS OF UTILITIES ARE ASSUMED. VERIFY IN FIELD PRIOR TO ANY CONSTRUCTION ACTIVITIES.



FIXTURE LOAD SCHEDULE

NO.	FIXTURE TYPE	FIXTURE UNITS	QUANTITY	TOTAL UNITS
1	KITCHEN SINK & FAUCET	1.5	1	1.5
2	BATHROOM VANITY SINK & FAUCET	1	1	1
3	TOILET (WC)	3	1	3
4	SHOWER	2	1	2
TOTAL				7.5

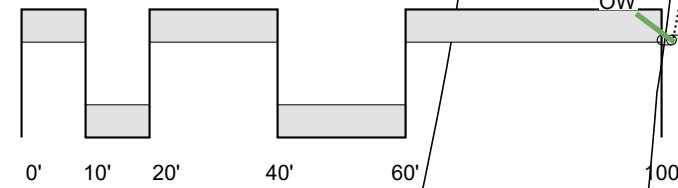
TYPICAL SINGLE UNIT FIXTURE LOAD = 7.5
 13 UNITS x 7.5 = 97.5
 97.5 < 180 - MAX DFU FOR 4" PIPE WITH 1/8" SLOPE PER TABLE 710.1(1) IN NYSPC

POWER DISTRIBUTION PANEL COORD. WITH NATIONAL GRID

TYP. SERVICE A.11 ENTRY DETAIL

LEGEND

- W — NEW 1" PE WATER SERVICE
- - - W - - - MUNICIPAL WATER SERVICE, VIF.
- · - · - W - · - · - EXISTING WATER SERVICE, VIF
- S — NEW 4" SDR35 SEWER LINE
- - - S - - - MUNICIPAL SEWER MAIN, VIF
- · - · - S - · - · - EXISTING 4" SEWER LINE, VIF
- OW — EXISTING OVERHEAD WIRE
- OW — NEW OVERHEAD WIRE
- — UNDERGROUND SERVICE WIRE



1

PROPOSED UTILITY PLAN

1" : 30'



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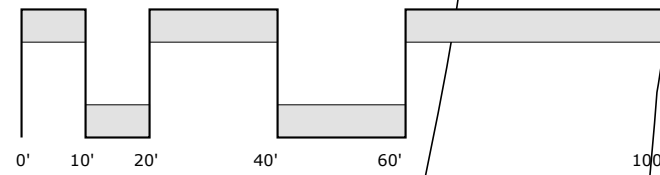
UTILITIES PLAN

LUMINAIRE SCHEDULE					
QTY	LABEL	LUM. WATTS	ARRANGEMENT	LLF	DESCRIPTION
12	SP	87.7	SINGLE	0.900	SL220 F WW BLK + GH220B
19	WL	57	SINGLE	0.900	PRM32-36L-285-5K7-4W-HS
3	LP	118.8	SINGLE	0.900	PRMD2-72L-225-3K7-4W

CALCULATION SUMMARY						
LABEL	UNITS	AVG	MAX	MIN	AVG/MIN	MAX/MIN
WALKWAY	FC	1.152	309.181	0.029	0.002	0.000
PARKING	FC	0.527	3.057	0.025	0.004	0.001
SITE CALC	FC	0.031	361.671	0.000	NA	NA



1 Proposed Site Layout Plan 1" : 30'



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LIGHTING PLAN

LANDSCAPE PLANT SCHEDULE						
	KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
SHRUBS/TREES	A		THUJA OCCIDENTALIS	ARBORVITAE	4' TO 6'	
	CL		LINDERA BENZOIN	SPICE BUSH	2' TO 3'	
	DG		CORNUS FLORIDA	DOGWOOD	5' TO 6'	
	J		JUNIPERUS VIRGINIANA	JUNIPER	3' TO 4'	
	RB		BETULA NIGRA	RIVER BIRCH	6' TO 8'	
	RM		ACER RUBRUM	RED MAPLE	4' TO 6'	
PERENNIALS	BES		RUDBECKIA HIRTA	BLACK EYED SUSAN	1'	2' O.C.
	BS		SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM	1'	3' O.C.
	G		MISCANTHUS SINENSIS	MAIDEN GRASS	2' TO 3'	4' O.C.
	JP		EUPATORIUM PURPUREUM	JOE PYE WEED	2' TO 3'	2' O.C.



1 PROPOSED LANDSCAPING PLAN 1" : 30'



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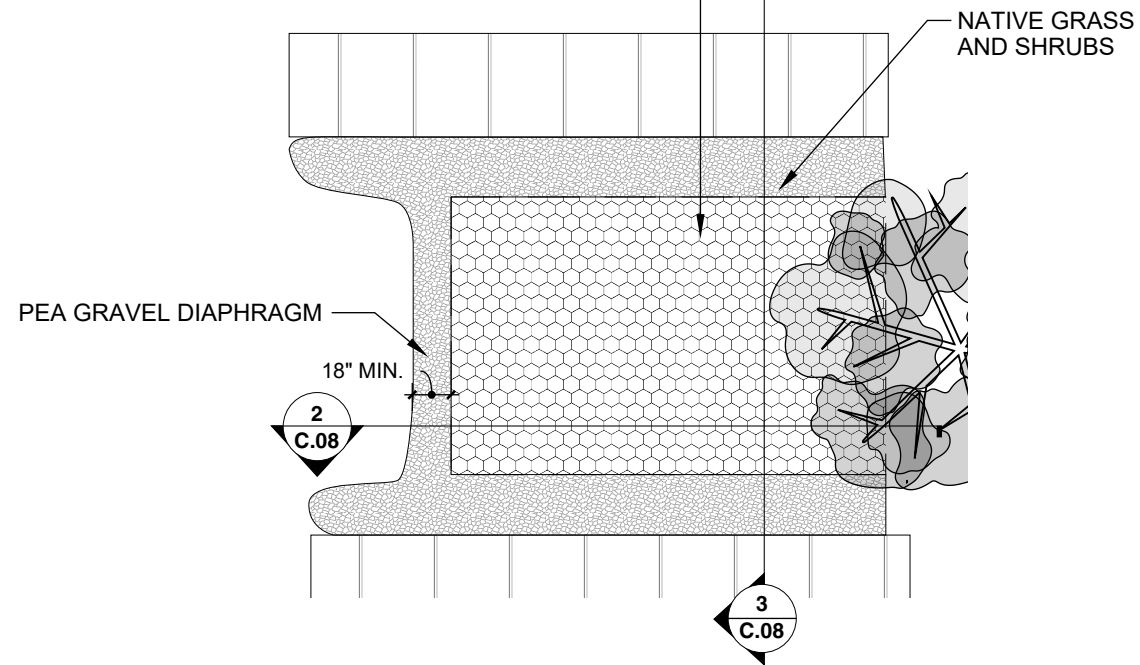
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**LANDSCAPING
PLAN**

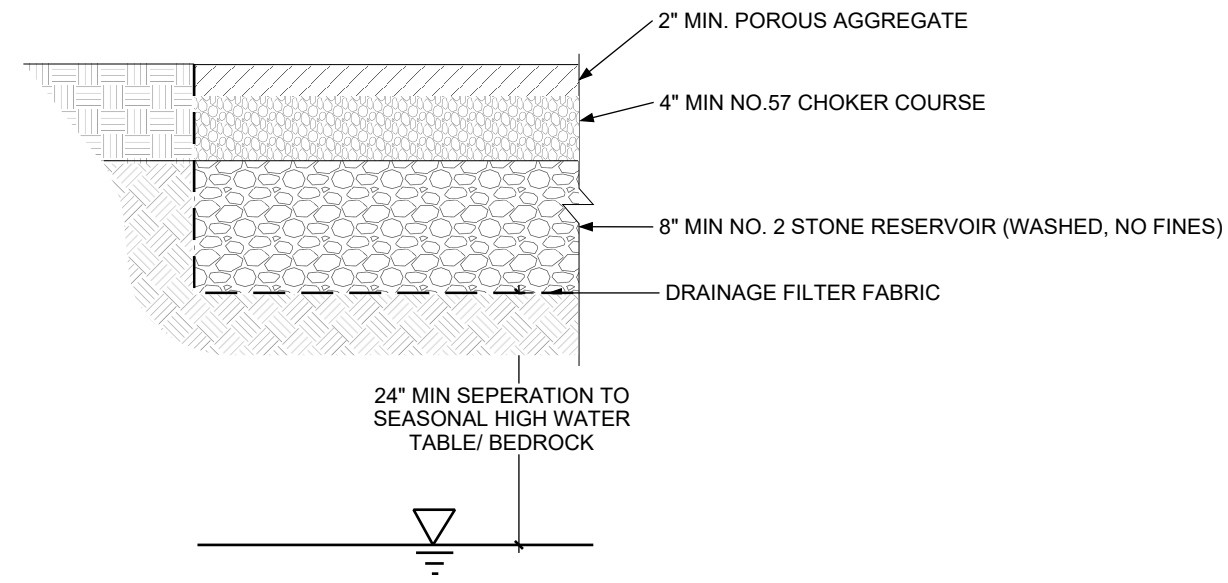
DISCONNECTION OF ROOFTOP RUNOFF DETAIL



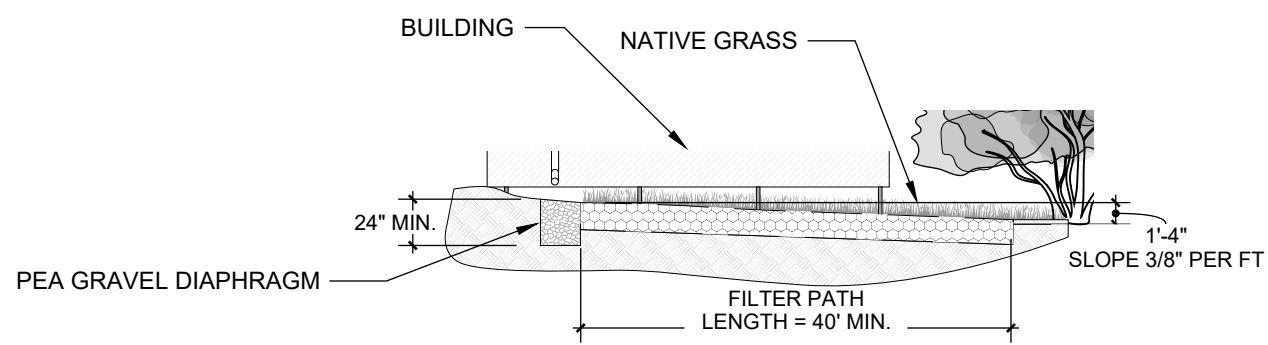
AMEND SOILS WHEN NECESSARY
APPLY 3" MIN. COMPOST AND
TILL TO DEPTH OF 8" MIN.



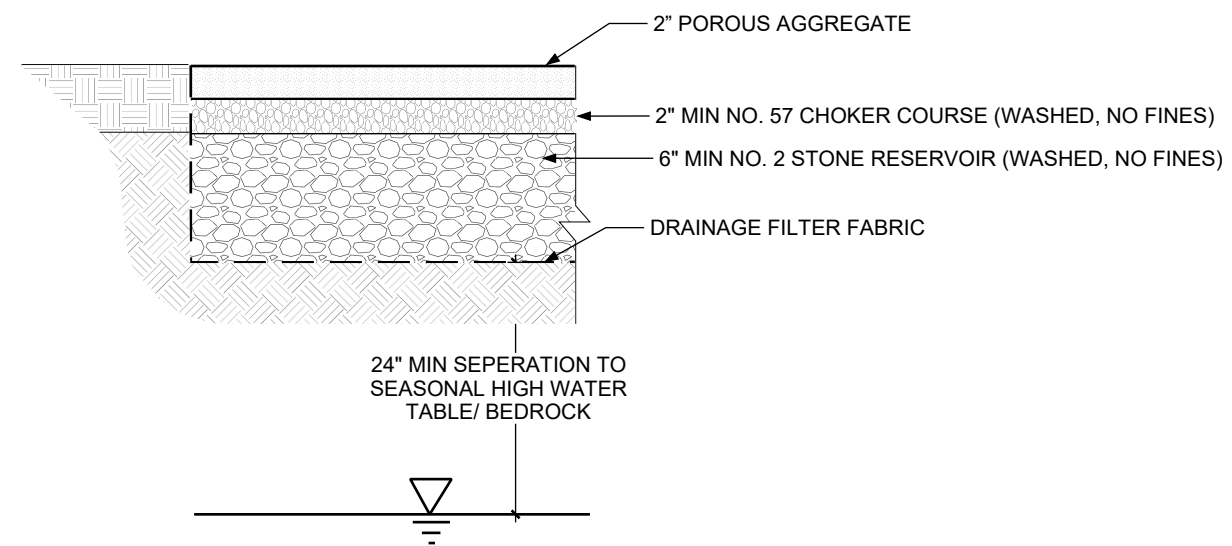
1 PLAN VIEW N.T.S.



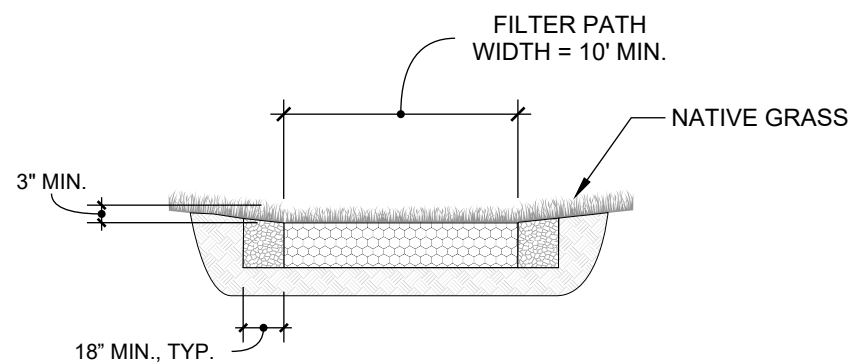
4 POROUS DRIVE & PARKING SECTION N.T.S.



2 PROFILE VIEW N.T.S.



5 PEDESTRIAN WALKWAY SECTION N.T.S.



3 SECTION VIEW N.T.S.

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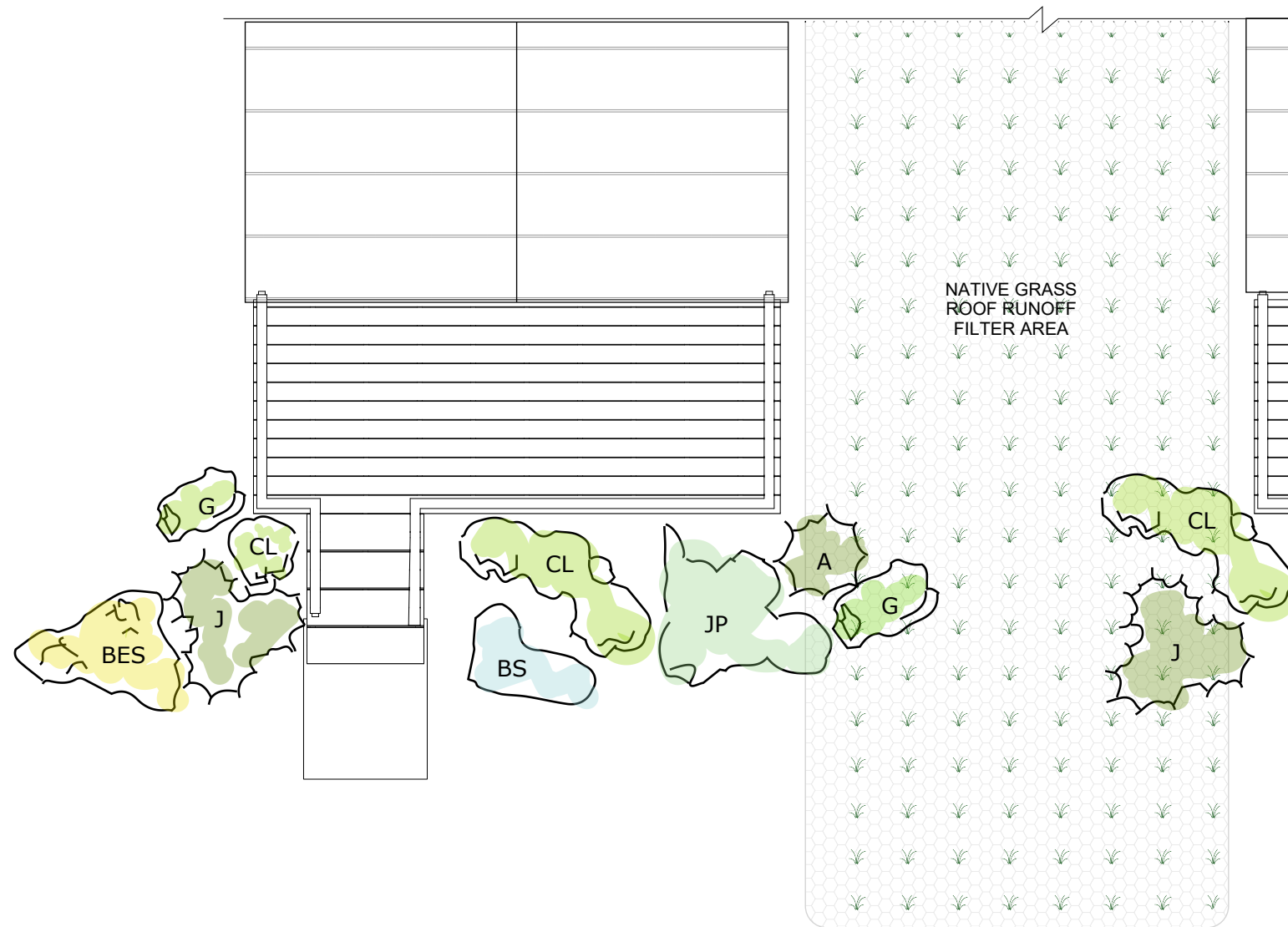
CLIENT
Katie & Will Carson
75 Dieskau St
Lake George, NY

PROJECT
New Construction 13
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PROJECT NO.
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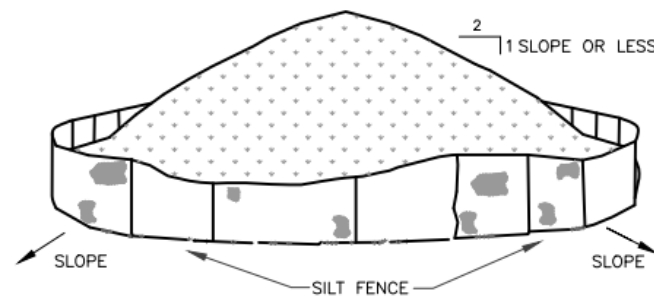
STORMWATER
DETAILS

C.09



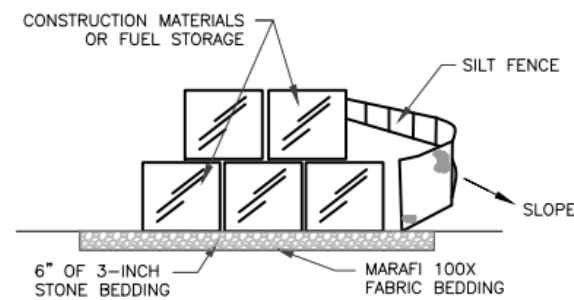
LANDSCAPE PLANT SCHEDULE						
	KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
SHRUBS/TREES	A		THUJA OCCIDENTALIS	ARBORVITAE	4' TO 6'	
	CL		LINDERA BENZOIN	SPICE BUSH	2' TO 3'	
	DG		CORNUS FLORIDA	DOGWOOD	5' TO 6'	
	J		JUNIPERUS VIRGINIANA	JUNIPER	3' TO 4'	
	RB		BETULA NIGRA	RIVER BIRCH	6' TO 8'	
PERENNIALS	RM		ACER RUBRUM	RED MAPLE	4' TO 6'	
	BES		RUDBECKIA HIRTA	BLACK EYED SUSAN	1'	2' O.C.
	BS		SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM	1'	3' O.C.
	G		MISCANTHUS SINENSIS	MAIDEN GRASS	2' TO 3'	4' O.C.
	JP		EUPATORIUM PURPUREUM	JOE PYE WEED	2' TO 3'	2' O.C.

1 TYPICAL UNIT LANDSCAPE DETAIL N.T.S.



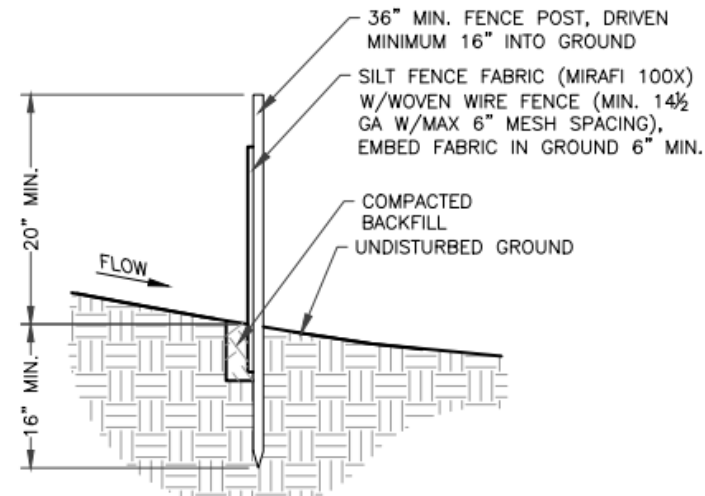
- AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
- MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2.
- SILT FENCING SHALL BE PLACED 5' DOWNSLOPE OF EACH PILE. UPON COMPLETION OF SOIL STOCKPILING, TOPSOIL SHALL BE STABILIZED WITH SEED AND MULCH IF NOT TO BE DISTURBED/UTILIZED WITHIN 14 DAYS.
- SEE ADDITIONAL DETAILS FOR INSTALLATION OF SILT FENCE.
- TEMPORARY PERIMETER DIKES MAY BE REQUIRED TO DIRECT CLEAN RUNOFF FROM STOCKPILE AREAS. REFER TO EROSION AND SEDIMENT CONTROL PLAN.

SOIL STOCKPILE

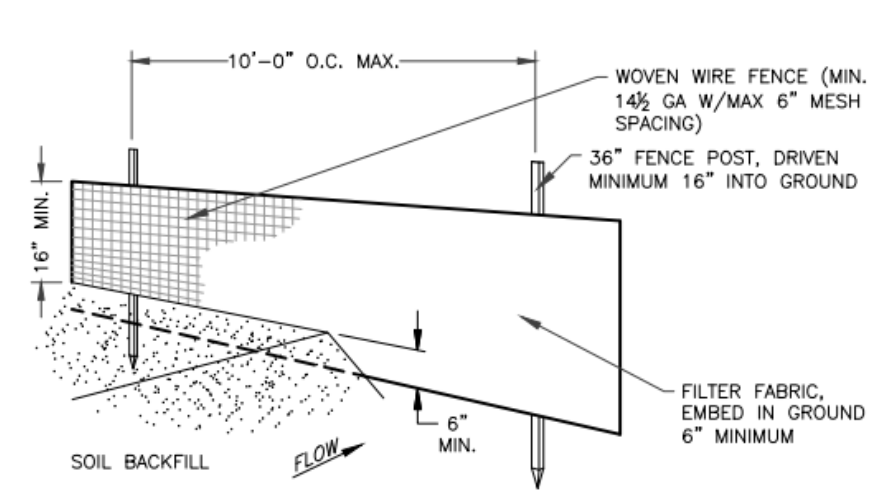


- AREA CHOSEN FOR STORAGE OPERATIONS SHALL BE DRY AND STABLE.
- MINIMUM DISTANCE TO A NATURAL WATER COURSE SHALL BE 50'.
- THE TOP SIX INCHES OF NATIVE MATERIAL SHALL BE REMOVED FROM MATERIAL/FUEL STORAGE AREA AND REPLACED WITH MARAFI 100X GEOTEXTILE FABRIC AND 6" INCHES OF CRUSHED STONE BEDDING. CRUSHED STONE SHALL MEET NYS DOT ITEM NO. 623.11 SPECIFICATIONS.
- SILT FENCING SHALL BE PLACED 5' DOWNSLOPE OF STORAGE AREA.
- TEMPORARY PERIMETER DIKES MAY BE REQUIRED TO DIRECT CLEAN RUNOFF FROM STORAGE AREAS. REFER TO EROSION AND SEDIMENT CONTROL PLAN.

FUEL OR MATERIAL STORAGE AREA



SECTION



PERSPECTIVE VIEW

CONSTRUCTION SPECIFICATIONS

- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
- FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 12½ GA, 6" MAXIMUM MESH OPENING.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER-LAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
- PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

SLOPE	STEEPNESS	SLOPE LENGTH/FENCE LENGTH (FT)		
		STANDARD	REINFORCED	SUPER
<2%	<50:1	300/1500	N/A	N/A
2-10%	50:1 TO 10:1	125/1000	250/2000	300/2500
10-20%	10:1 TO 5:1	100/750	150/1000	200/1000
20-33%	5:1 TO 3:1	60/500	80/750	100/1000
33-50%	3:1 TO 2:1	40/250	70/350	100/500
>50%	>2:1	20/125	30/175	50/250

STANDARD SILT FENCE (SF) IS FABRIC ROLLS STAPLED TO WOODEN STAKES DRIVEN 16" IN THE GROUND.
REINFORCED SILT FENCE (RSF) IS FABRIC PLACED AGAINST WELDED WIRE FABRIC WITH ANCHORED STEEL POSTS DRIVEN 16" IN THE GROUND.
SUPER SILT FENCE (SSF) IS FABRIC PLACED AGAINST CHAIN LINK FENCE AS SUPPORT BACKING WITH POSTS DRIVEN 3' IN THE GROUND.

2 MATERIAL STORAGE AND SOIL STOCKPILE DETAIL N.T.S.

3 SEDIMENT CONTROL FENCE N.T.S.

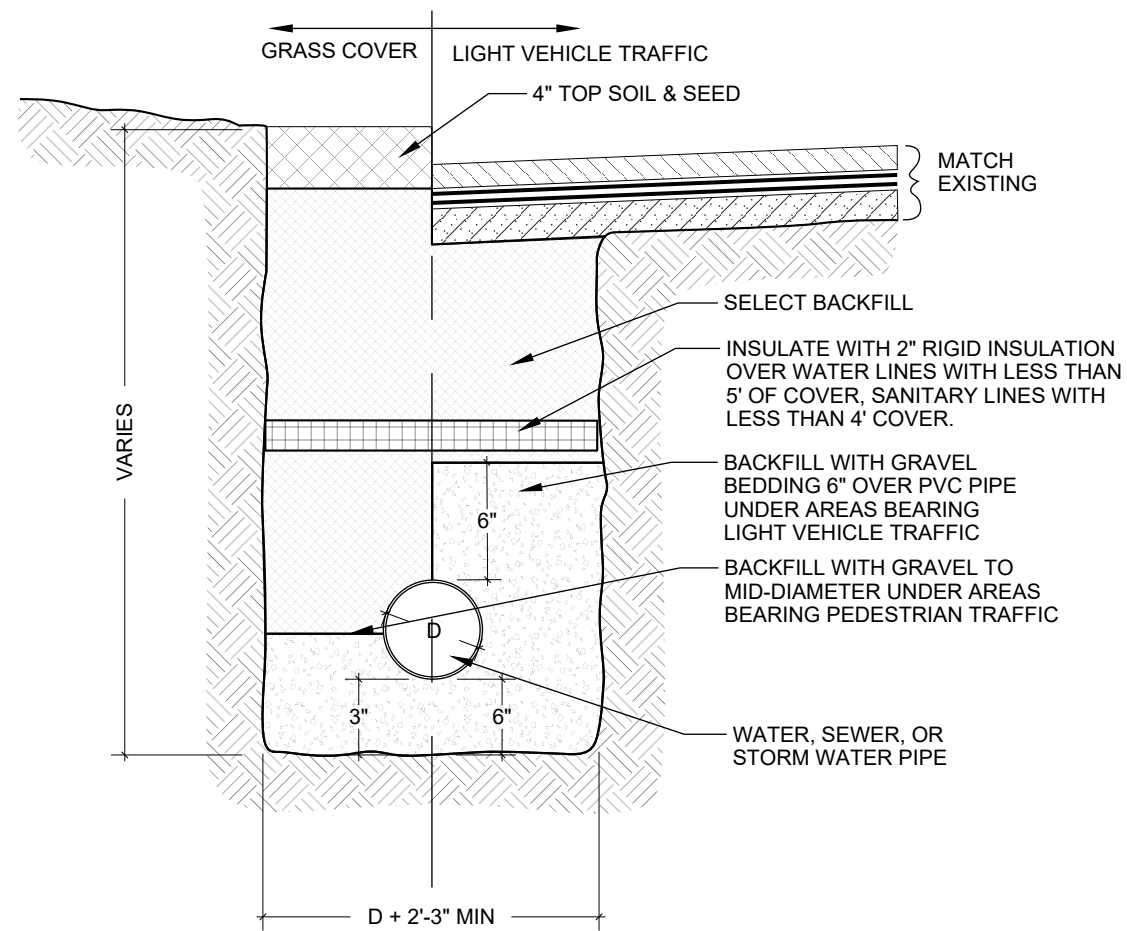
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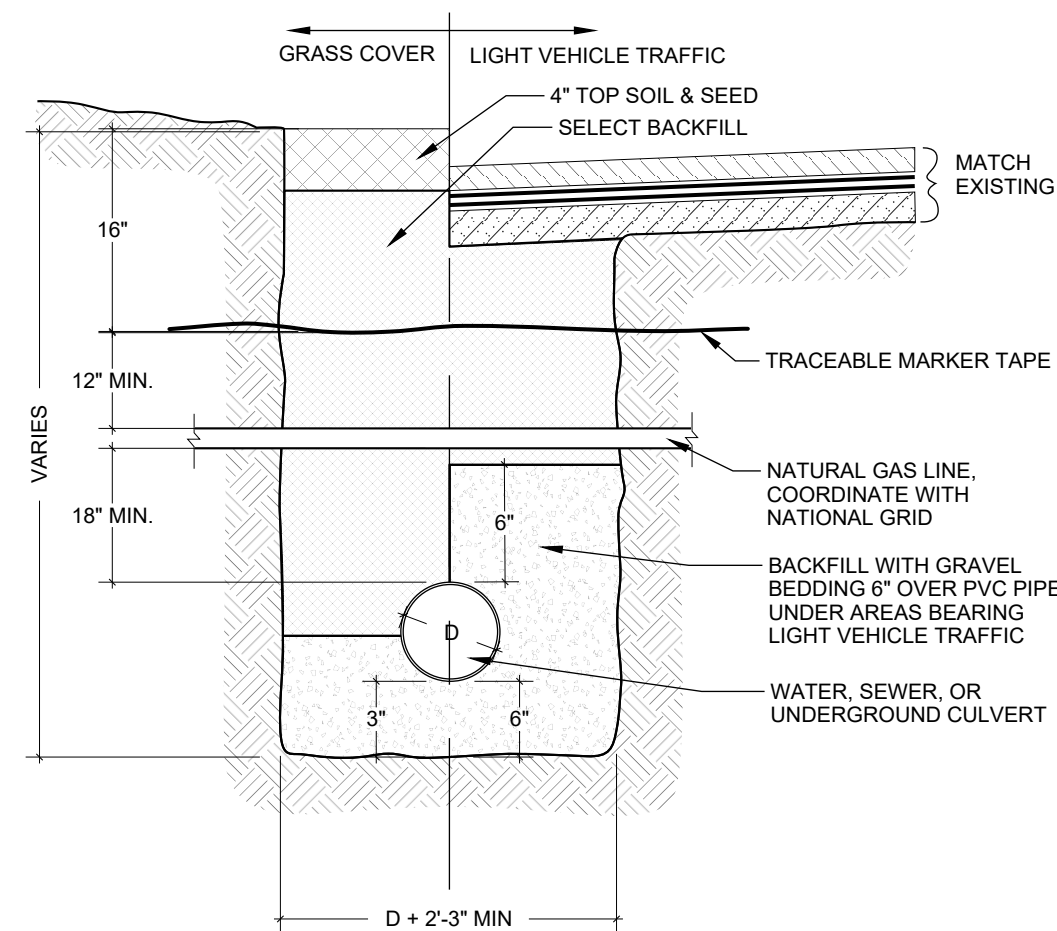
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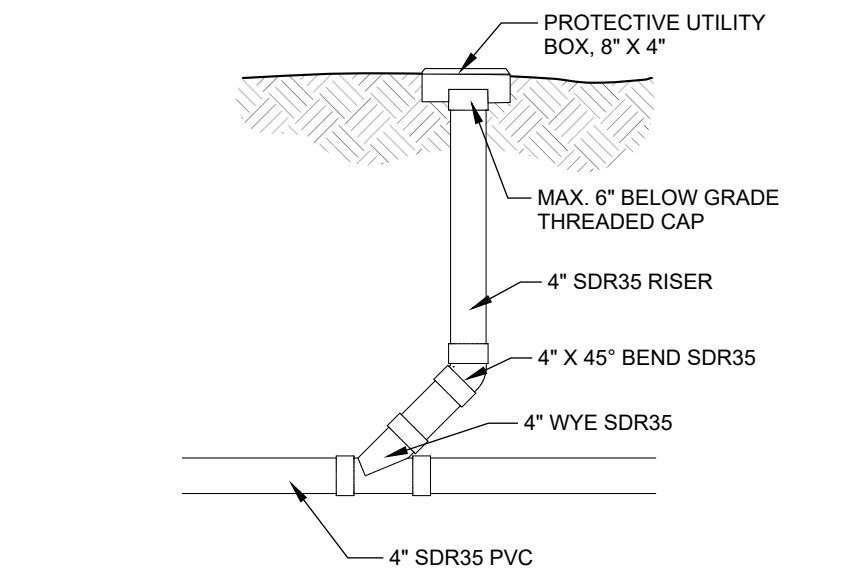
DETAILS



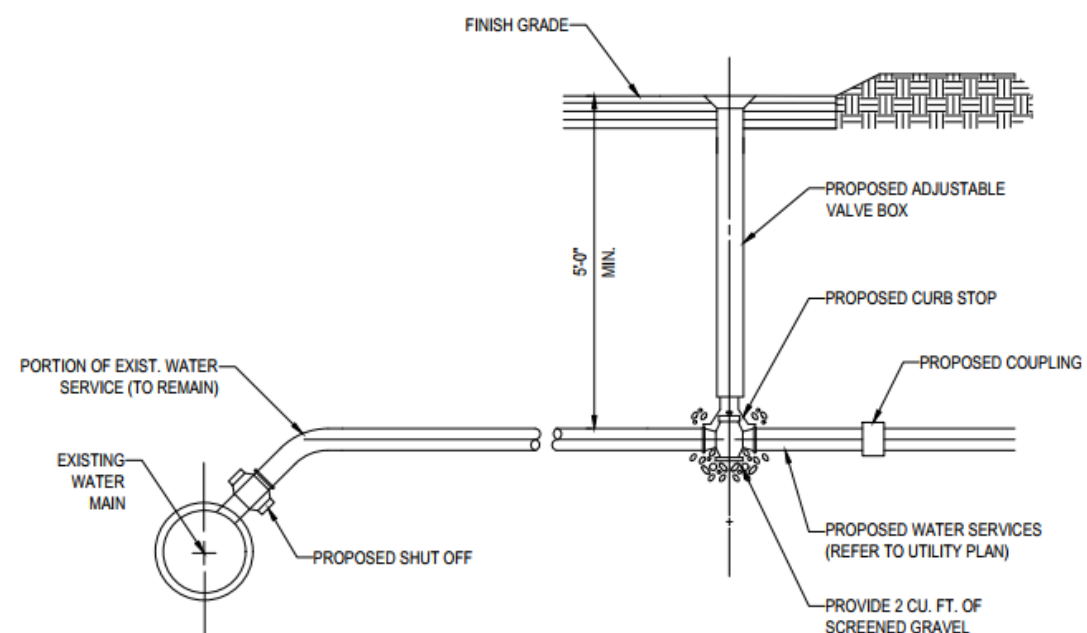
1 TYPICAL UTILITY TRENCH DETAIL N.T.S.



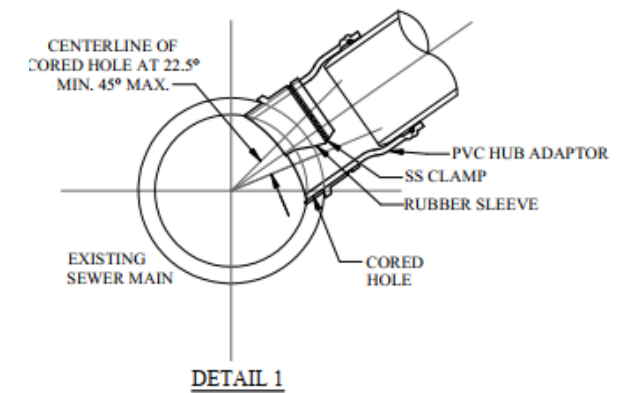
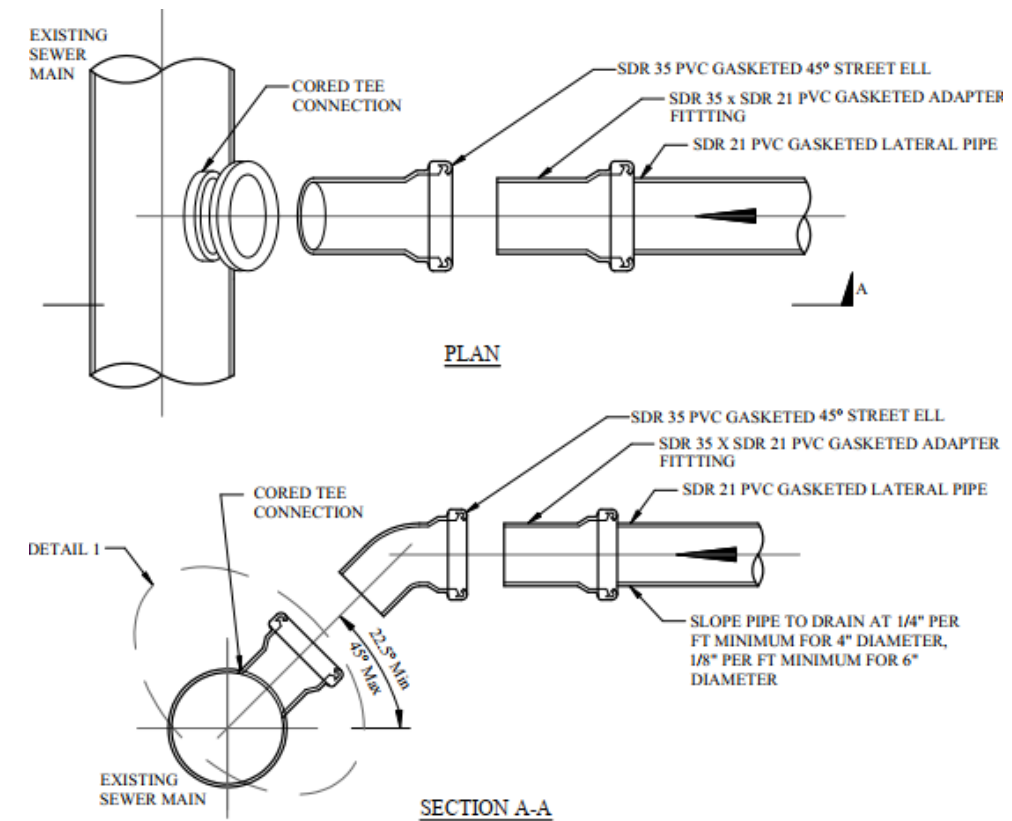
3 NG UTILITY CROSS DETAIL N.T.S.



2 CLEANOUT DETAIL N.T.S.



4 WATER SERVICE CONNECTION DETAIL N.T.S.



NOTES:

- AVOID USE OF DEVICES OR HAMMERING KNOCK-OUT METHODS FOR LATERAL PIPE. CORE HOLE SHOULD BE ALONG THE LENGTH OF THE MAIN, MINIMUM OF 6" AWAY FROM EXISTING PIPE HUBS.
- EXPOSE FACE OF PIPE FROM CROWN TO INVERT FOR HALF THE NOMINAL DIAMETER OF THE MAINLINE.
- TAKE NECESSARY PRECAUTIONS TO PREVENT DAMAGE TO THE EXISTING SEWER AND TO ENSURE DEBRIS DOES NOT ENTER THE SEWER.
- CLEAN SURFACE OF EXISTING PIPE THOROUGHLY BEFORE PLACEMENT OF THE CONNECTION.
- FOR TEE CONNECTION, USE AN "INSERTA TEE" BY INSERTA FITTINGS COMPANY OR AN APPROVED EQUIVALENT.

5 TYPICAL SEWER MAIN CONNECTION N.T.S.



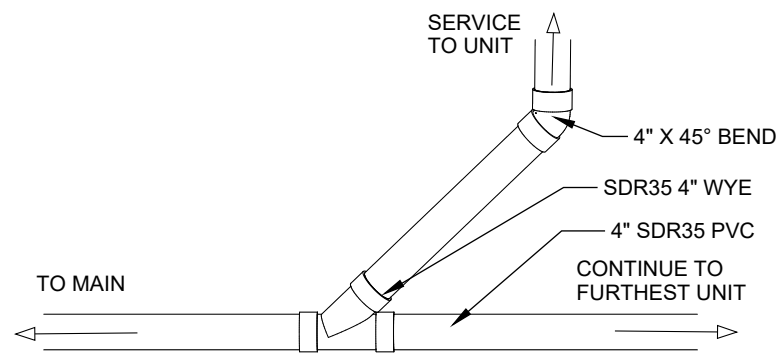
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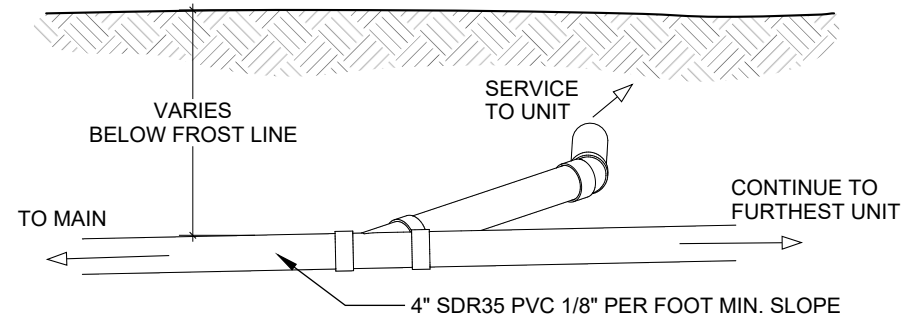
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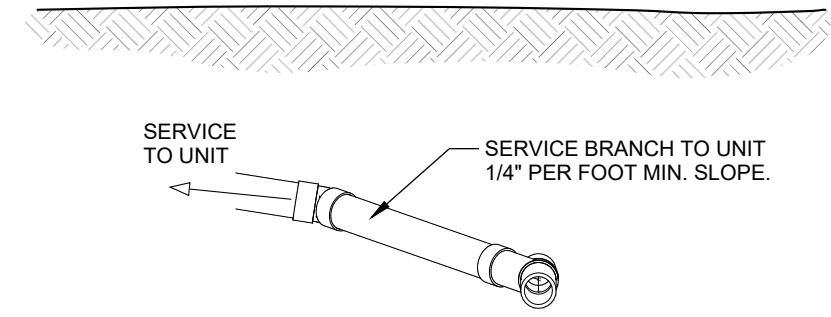
DETAILS



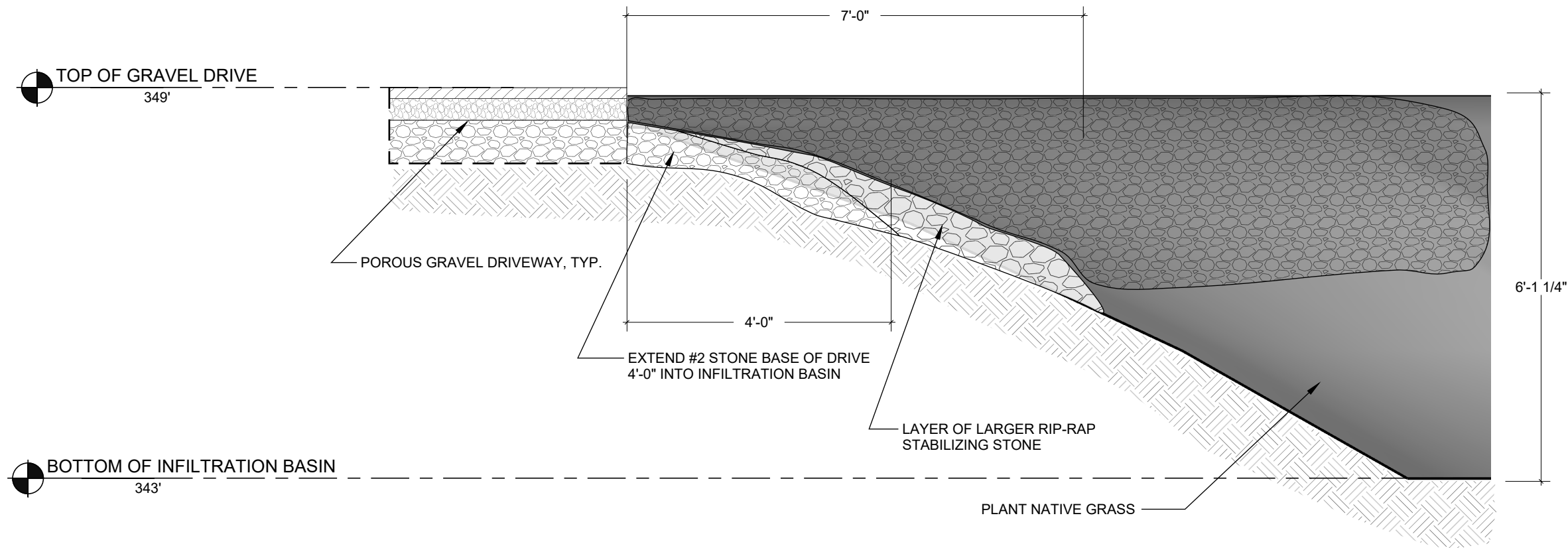
1 **PLAN VIEW SEWER BRANCH TO UNIT** N.T.S.



2 **PROFILE SEWER BRANCH TO UNIT** N.T.S.



3 **END VIEW SEWER BRANCH TO UNIT** N.T.S.



4 **INFILTRATION BASIN SECTION** N.T.S.



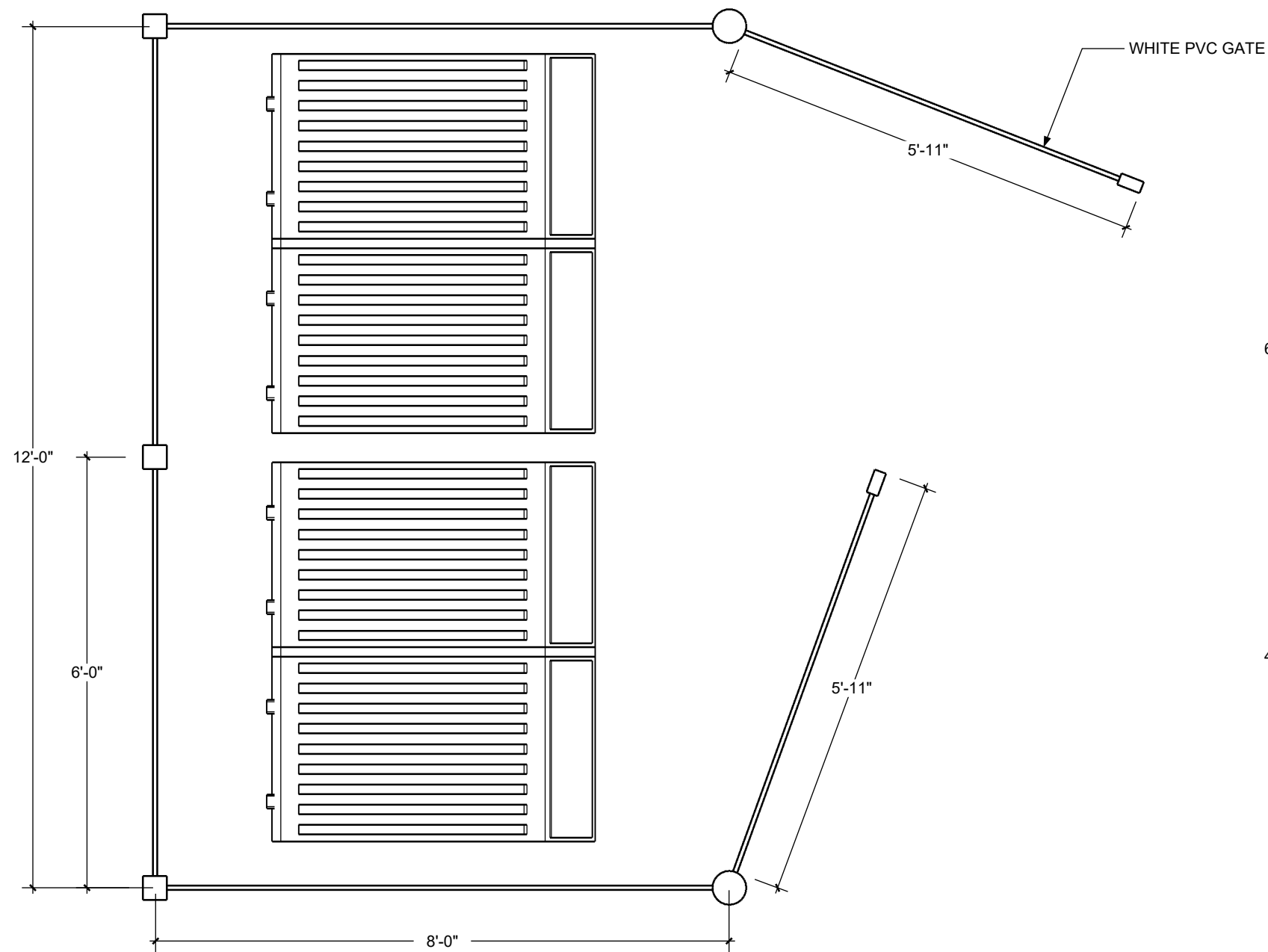
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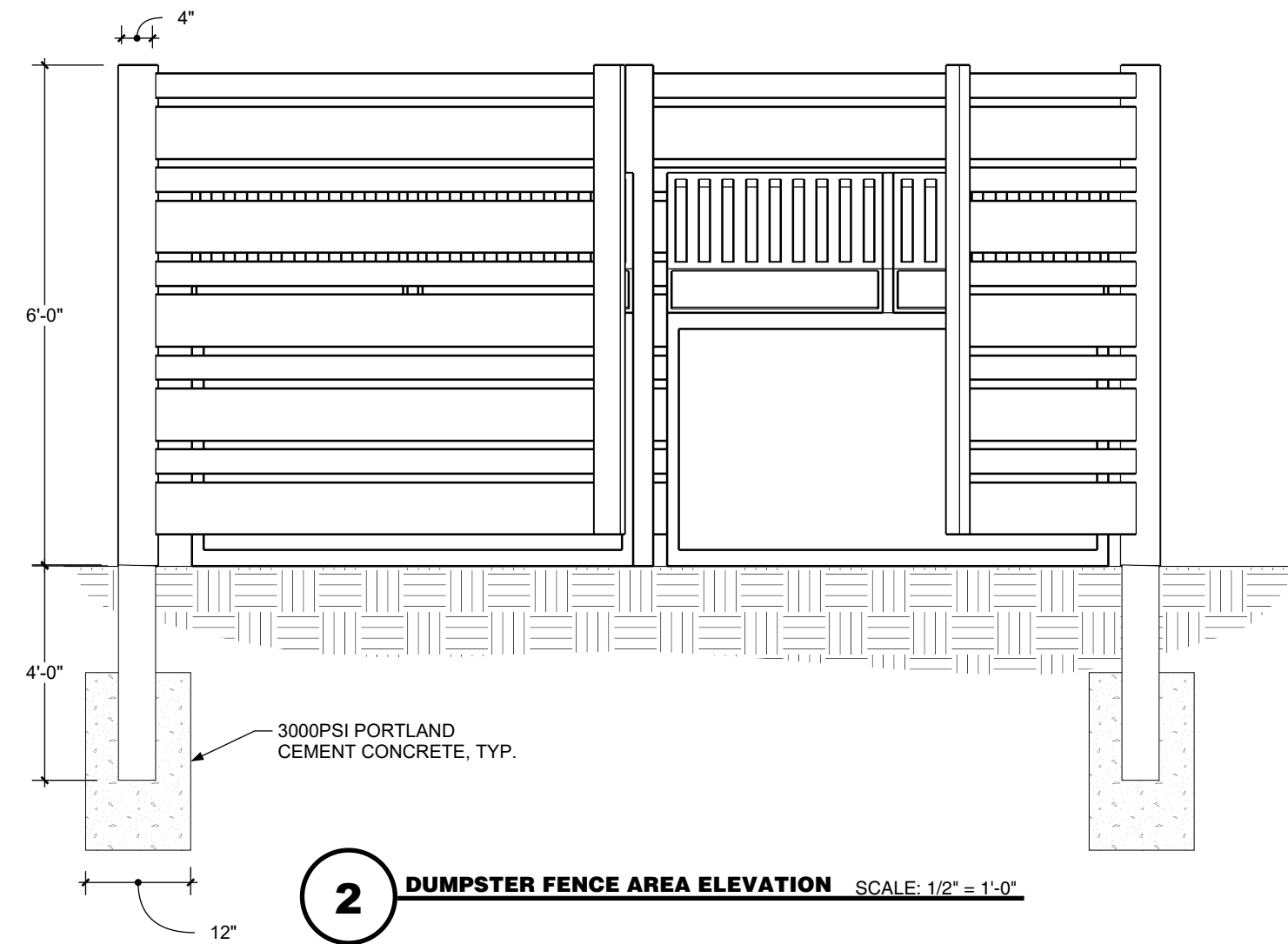
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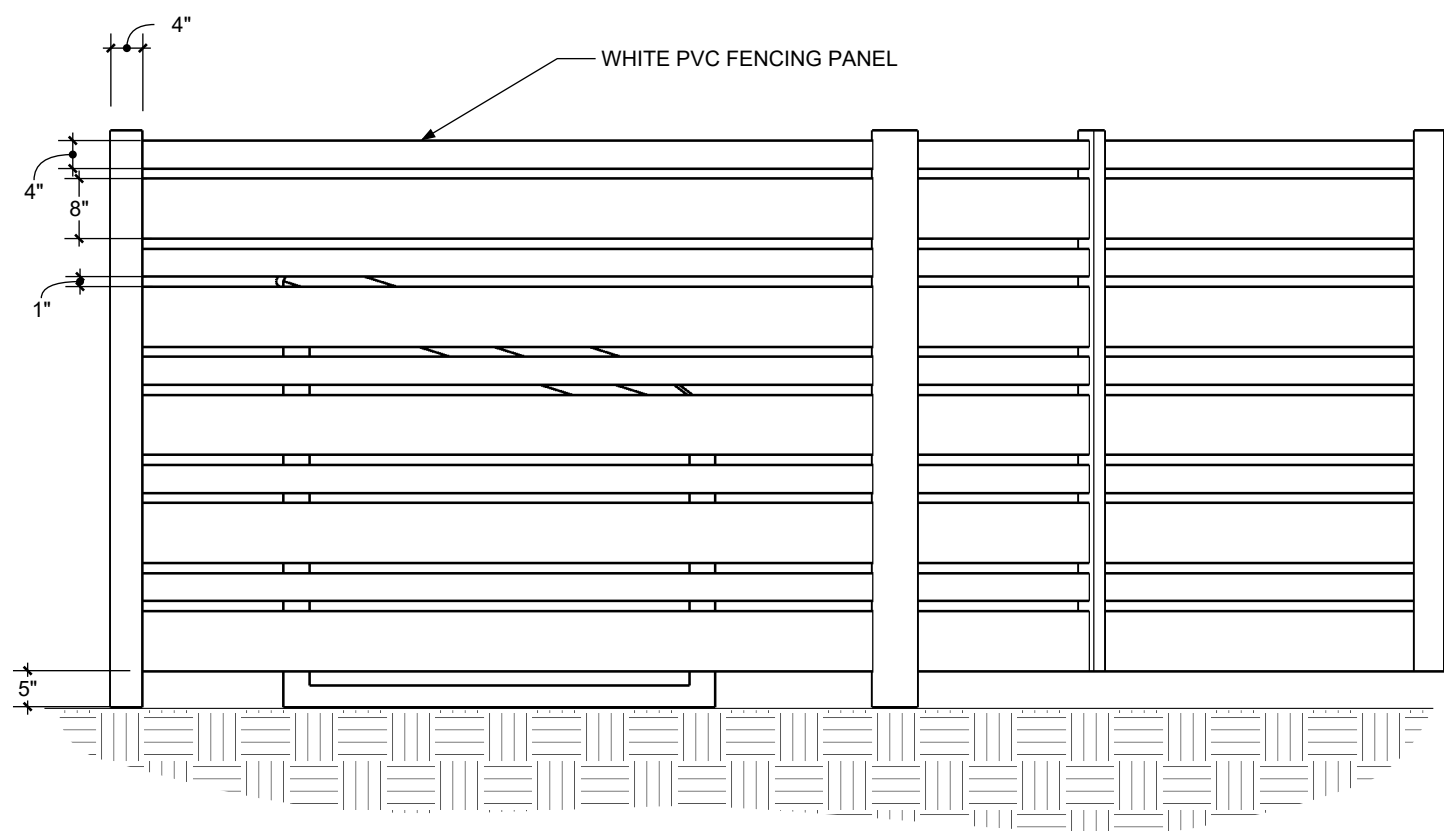
**SEWER & BASIN
DETAILS**



1 DUMPSTER FENCE AREA PLAN SCALE: 1/2" = 1'-0"



2 DUMPSTER FENCE AREA ELEVATION SCALE: 1/2" = 1'-0"



3 DUMPSTER FENCE AREA ELEVATION SCALE: 1/2" = 1'-0"



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**DUMPSTER AREA
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