

## GENERAL NOTES

- CONSTRUCTION SHALL CONFORM TO THE RESIDENTIAL BUILDING CODE OF NEW YORK STATE, FIRE CODE AND PROPERTY MAINTENANCE CODE OF NEW YORK STATE, PLUMBING CODE, MECHANICAL CODE & FUEL GAS CODE OF NEW YORK STATE; ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE & ICC/ANSI A 117.1-2009
- IT IS THE CONTRACTORS RESPONSIBILITY TO INSPECT AND ASSESS THE PROJECT AND TO FILL THE INTENT OF THE WORK INDICATED BY THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS WITHIN THE CONTRACT LIMITS. DEVIATIONS FROM THE CONTRACT DOCUMENTS NECESSITATED BY FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- IN THE EVENT OF A MATERIAL CONFLICT SPECIFICATIONS SHALL TAKE PRECEDENT OVER DRAWINGS.
- IN EVENT OF A DIMENSIONAL CONFLICT DRAWINGS TAKE PRECEDENT OVER SPECIFICATIONS. CONSTRUCTION METHODS AND CRAFTSMANSHIP ARE THE RESPONSIBILITY OF THE CONTRACTOR WITH ALL LOCAL, STATE & FEDERAL CODES & REGULATIONS.
- FINISH MATERIAL SELECTION BY OWNER & ARCHITECT UNLESS OTHERWISE SPECIFIED.
- DO NOT SCALE DRAWINGS. REFER TO WRITTEN TEXT AND DIMENSIONS FOR INFORMATION. THE CONTRACTOR AND SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS AND JOB CONDITIONS AT THE JOB SITE SUFFICIENTLY IN ADVANCE OF THE WORK TO BE PREFORMED TO ASSURE THE ORDERLY PROGRESS OF THE WORK.
- CONTRACTORS SHALL MAINTAIN THE PREMISES CLEAN AND FREE OF ALL TRASH, DEBRIS AND SHALL PROTECT ALL ADJACENT WORK FROM DAMAGE, SOILING, PAINT OVER SPRAY, ETC. ALL FIXTURES, EQUIPMENT, GLAZING, FLOORS, ETC. SHALL BE LEFT CLEAN AND READY FOR OCCUPANCY UPON COMPLETION OF THE PROJECT.
- THE CONTRACTOR SHALL MAKE NO STRUCTURAL CHANGES WITHOUT WRITTEN APPROVAL FROM THE ARCHITECT/ENGINEER. CONSTRUCT LANDING/STOOP @ DOORWAYS, 5' x 5' (min.). 1:48 (max.) SLOPE. PORCHES PITCH AWAY FROM BUILDING (1:48 MAX SLOPE) AND SIDEWALKS 1:20 (MAX SLOPE).
- DETAILS NOT SPECIFICALLY SHOWN SHALL BE SIMILAR TO THOSE SHOWN FOR THE MOST NEARLY SIMILAR CONDITION AS DETERMINED BY THE ARCHITECT OR ENGINEER.
- ALL WOOD FRAMING MEMBERS EXPOSED TO THE ELEMENTS, OR IN CONTACT WITH THE EARTH, CONCRETE OR MASONRY SHALL BE PRESSURE TREATED LUMBER.
- THE CONTRACTOR SHALL PROVIDE ADEQUATE SUPPORTS AND OR BLOCKING MATERIAL IN WALLS FOR EQUIPMENT / CABINETS / ACCESSORIES ATTACHED THERETO.
- PROVIDE AND INSTALL FLASHING AT ALL ROOF TO WALL CONNECTIONS. THROUGH WALL PENETRATIONS, PROJECTIONS, OPENINGS AND ELSEWHERE TO PROVIDE WATERTIGHT / WEATHERPROOF EXTERIOR SKIN.
- PROVIDE AND INSTALL BATT INSULATION AT WINDOW SHIM LOCATIONS. FIT INSULATION TIGHT WITHIN SPACES AND TIGHT TO AND BEHIND MECHANICAL, PLUMBING AND ELECTRICAL SERVICES. LEAVE NO GAPS OR VOIDS.
- THE PERIMETERS OF ALL SINKS, WATER CLOSETS AND COUNTERTOPS SHALL BE SEALED AT FLOOR AND WALL CONNECTIONS.
- INSTALL ELASTOMERIC SEALANTS AND BACKER ROD (AS REQUIRED) AT ALL EXTERIOR JOINTS, WINDOW NAILING FINES AND ELSEWHERE AS REQUIRED TO PROVIDE A POSITIVE BARRIER AGAINST MOISTURE AND AIR INFILTRATION
- THE FOLLOWING SHALL BE CONSIDERED HAZARDOUS LOCATIONS FOR THE PURPOSE OF GLAZING AND SAFETY GLAZING (TEMPERED GLASS) SHALL BE INSTALLED: GLAZING IN LOCATIONS SUBJECT TO HUMAN IMPACT SUCH AS SWINGING DOORS, FIXED AND SLIDING PANELS OF SLIDING GLASS DOOR ASSEMBLIES, STORM DOORS, UNFRAMED SWINGING DOORS, AND DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUB AND SHOWERS, SAFETY GLAZING SHALL BE INSTALLED IN ANY FIXED OR OPERABLE PANEL WITHIN A 2' ARC OF BOTH VERTICAL EDGES OF A DOOR IN A CLOSED POSITION IF THE GLAZING IS LESS THAN 60" ABOVE THE FLOOR OR WALKING SURFACES GLAZING SHALL ALSO BE INSTALLED WHEN: THE EXPOSED AREA OF AN INDIVIDUAL PANE IS GREATER THAN 9 s.f., EXPOSED BOTTOM EDGE IS LESS THAN 18" A.F.F., EXPOSED TOP EDGE IS GREATER THAN 36" A.F.F., A WALKING SURFACE IS WITHIN 36" HORIZONTALLY OF THE PLANE OF GLAZING AND ANY GLAZING WITHIN A STAIRWELL, INCLUDING DOORS. SAFETY GLAZING SHALL ALSO BE INSTALLED IN RAILINGS REGARDLESS OF AN AREA OR HEIGHT ABOVE A WALKING SURFACE. INCLUDED ARE STRUCTURAL BALUSTER PANELS AND NONSTRUCTURAL IN-FILL PANELS. SAFETY GLAZING IS REQUIRED ADJACENT TO STAIRWAYS, LANDINGS AND RAMPS WITHIN 36 INCHES HORIZONTALLY OF A WALKING SURFACE WHEN THE EXPOSED SURFACE OF GLASS IS LESS THAN 60 INCHES ABOVE THE PLANE OF ADJACENT WALKING SURFACE. ALSO REQUIRED ADJACENT TO STAIRWAYS WITHIN 60 INCHES HORIZONTALLY OF THE BOTTOM TREAD OF A STAIRWAY IN ANY DIRECTION WHEN THE EXPOSED SURFACE OF THE GLASS IS LESS THAN 60 INCHES ABOVE THE NOSE OF THE TREAD.
- CHANGES IN FLOOR LEVEL OF 1/4" OR LESS SHALL BE PERMITTED WITHOUT EDGE TREATMENT. CHANGES IN LEVEL BETWEEN 1/4" HIGH MINIMUM AND 1/2" HIGH MAXIMUM SHALL BE VEHELED WITH A SLOPE NOT STEEPER THAN 1:2.
- ALL DOOR AND WINDOWS OPENING TO THE EXTERIOR OR TO UNCONDITIONED AREAS SHALL BE FULLY WEATHER STRIPPED, GASKETED OR OTHERWISE TREATED TO LIMIT AIR INFILTRATION. ALL MANUFACTURED WINDOWS SHALL MEET THE AIR INFILTRATION STANDARDS OF A.S.T.M. E283.
- PROVIDE AND INSTALL GYPSUM WALLBOARD IN CONFORMANCE WITH "AMERICAN STANDARD SPECIFICATIONS FOR THE APPLICATION AND FINISHING OF GYPSUM WALLBOARD", AS APPROVED BY THE AMERICAN STANDARDS ASSOCIATION. PROVIDE AND INSTALL MOISTURE-RESISTANT GYPSUM WALLBOARD TYPE VII, GRADE W OR X AS REQUIRED, CLASS 2, AT ALL BATHROOMS AND DAMP LOCATIONS.
- READY MIXED PAINT SHALL NOT BE THINNED OR WATERED. ALL EXTERIOR AND INTERIOR SURFACES, INCLUDING DOOR TOPS AND BOTTOMS, SHALL BE PRIMED AND PAINTED OR STAINED / SEALED EXCEPT FACTORY FINISHED SURFACES. ALL SURFACES TO BE FINISHED SHALL BE CLEANED AND FREE OF DEBRIS (DIRT, GREASE, ASPHALT, RUST, ETC.). APPLICATION SHALL BE IN A WORKMANLIKE MANNER PROVIDING A SMOOTH SURFACE APPLICATION RATE SHALL BE THAT RECOMMENDED BY THE MANUFACTURER. APPLICATION MAY BE BY BRUSH, ROLLER OR SPRAY IF PAINT IS FORMULATED FOR SUCH APPLICATION. GYPSUM WALLBOARD FINISH COAT SHALL BE ROLLER APPLIED
- ALL ROOF PENETRATIONS OF FLUES, VENTS, CAPS, HOODS, ETC. TO BE PRIMED & SPRAY-PAINTED TO MATCH ROOF COLOR.
- PROVIDE KITCHEN ACCESSORIES, BATH ACCESSORIES, HARDWARE WINDOW TREATMENTS, AND MISCELLANEOUS ITEMS PER OWNER'S SCHEDULE AND SPECIFICATIONS. ALL ITEMS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE RESPECTIVE MANUFACTURER'S INSTRUCTIONS AND APPROVED INSTALLATION DRAWINGS.
- INSTALL FLASHING SYSTEM AT WINDOW LOCATIONS. INSTALL STRAIGHTFLASH FOR JAMBS AND HEADS, FLEXWRAP FOR SILL PROTECTION. CAULK NAILING FINES.
- FIREBLOCKING SHALL BE INSTALLED TO CUT OFF CONCEALED DRAFT OPENINGS, BOTH VERTICAL AND HORIZONTAL AND SHALL FORM AN EFFECTIVE BARRIER BETWEEN FLOORS, A TOP STORY AND A ROOF OR ATTIC. FIREBLOCKING SHALL BE INSTALLED IN CONCEALED WALL SPACES OF STUD WALL PARTITIONS, INCLUDING FURRED SPACES, AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS AS FOLLOWS: VERTICALLY AT CEILINGS AND FLOORS LEVELS AND HORIZONTALLY AT INTERVALS NOT EXCEEDING 10-FT.
- FIREBLOCKING SHALL BE PROVIDED AT INTERCONNECTIONS BET. VERTICAL STUD WALL AND CONCEALED HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS, AND FLOOR ASSEMBLIES. FIREBLOCKING SHALL BE PROVIDED AT CONCEALED SPACES BET. STAIR STRINGERS AT TOP AND BOTTOM OF RUN.

## ABBREVIATIONS

A/C	AIR CONDITIONING	GC	GENERAL CONTRACTOR
A/E	ARCHITECT/ENGINEER	LL	LIVE LOAD
ADA	AMERICANS WITH DISABILITIES ACT	MFR	MANUFACTURER
AFF	ABOVE FINISHED FLOOR	MIR	MIRROR
CH	CEILING HEIGHT	NA	NOT APPLICABLE
CLG	CEILING	NIC	NOT IN CONTRACT
CONC	CONCRETE	NL	NIGHT LIGHT
DL	DEAD LOAD	NTS	NOT TO SCALE
EM	EMERGENCY	OC	ON CENTER
EQ	EQUAL	RO	ROUGH OPENING
EWC	ELECTRIC WATER COOLER	SIM	SIMILAR
EXT	EXTERIOR	STD.	STANDARD
EXT	EXTINGUISHER	TYP	TYPICAL
FA	FIRE ALARM	U.N.O.	UNLESS NOTED OTHERWISE
FE	FIRE EXTINGUISHER	V.I.F.	VERIFY IN FIELD
F	FINISH OR FINISHED		
F.R.	FIRE RATED		
GWB	GYPSUM WALL BOARD		

## CODE REVIEW NOTES

### REVIEWED UNDER

2020 RESIDENTIAL CODE OF NEW YORK STATE (RCNYS)  
APPENDIX Q OF RCNYS FOR TINY HOMES  
2018 IECC (INTERNATIONAL ENERGY CONSERVATION CODE)  
ADA STANDARDS FOR ACCESSIBLE DESIGN  
SECTION 504 OF THE REHABILITATION ACT  
LOCAL ZONING ORDINANCES (COMMERCIAL MIXED USE ZONE)

### PROJECT CLASSIFICATION

NEW CONSTRUCTION AND EXISTING STRUCTURES  
PHASED DEVELOPMENT (3 PHASES)

### OCCUPANCY CLASSIFICATION

AS DEFINED IN R101.2 P OF THE NY RESIDENTIAL CODE

### CONSTRUCTION TYPE CLASSIFICATION

TYPE V (UNPROTECTED WOOD FRAME)

### BUILDING HEIGHTS AND OCCUPANCY AREA

#### ALLOWABLE:

HEIGHT: 3 STORIES/40'  
AREA: MIN. 200 SF

#### ACTUAL:

HEIGHT: SINGLE UNIT HEIGHT: 20' 6" / DOUBLE UNIT HEIGHT: 25' 8"  
AREA: SINGLE UNITS 275 SF / DOUBLE UNITS 550 SF

### FIRE RATINGS FOR

DWELLING UNIT SEPARATION: 30 MINUTES (RCNYS 302.1)  
CORRIDORS: N/A (SINGLE-STORY)  
STAIR ENCLOSURES: N/A (SINGLE-STORY)

### BUILDING ELEMENTS (FIRE RATINGS)

CONSTRUCTION TYPE: V  
STRUCTURAL FRAME: 0 HR  
INT. BEARING WALLS: 0 HR  
EXT. BEARING WALLS: 0 HR  
EXT. NON-BEARING WALLS: 0 HR  
INT. NON-BEARING WALLS: 0 HR  
FLOOR CONSTRUCTION: 0 HR  
ROOF CONSTRUCTION: 0 HR

### FIRE PROTECTION

SPRINKLER SYSTEM: NOT REQ'D PER [NY] R313.2  
FIRE ALARM SYSTEM: PROVIDED  
FIRE EXTINGUISHERS: TO BE PROVIDED (FCNYS 906)  
1A EXTINGUISHERS TO BE PROVIDED IN COMMON AREAS  
FINAL LOCATION TO BE COORDINATED AND APPROVED BY FIRE MARSHALL  
PROVIDE SIGNAGE PER CODE

### ADDITIONAL REQUIREMENTS

ACCESSIBILITY REQUIREMENTS PER ADA AND SECTION 504 FOR COMMON AREAS



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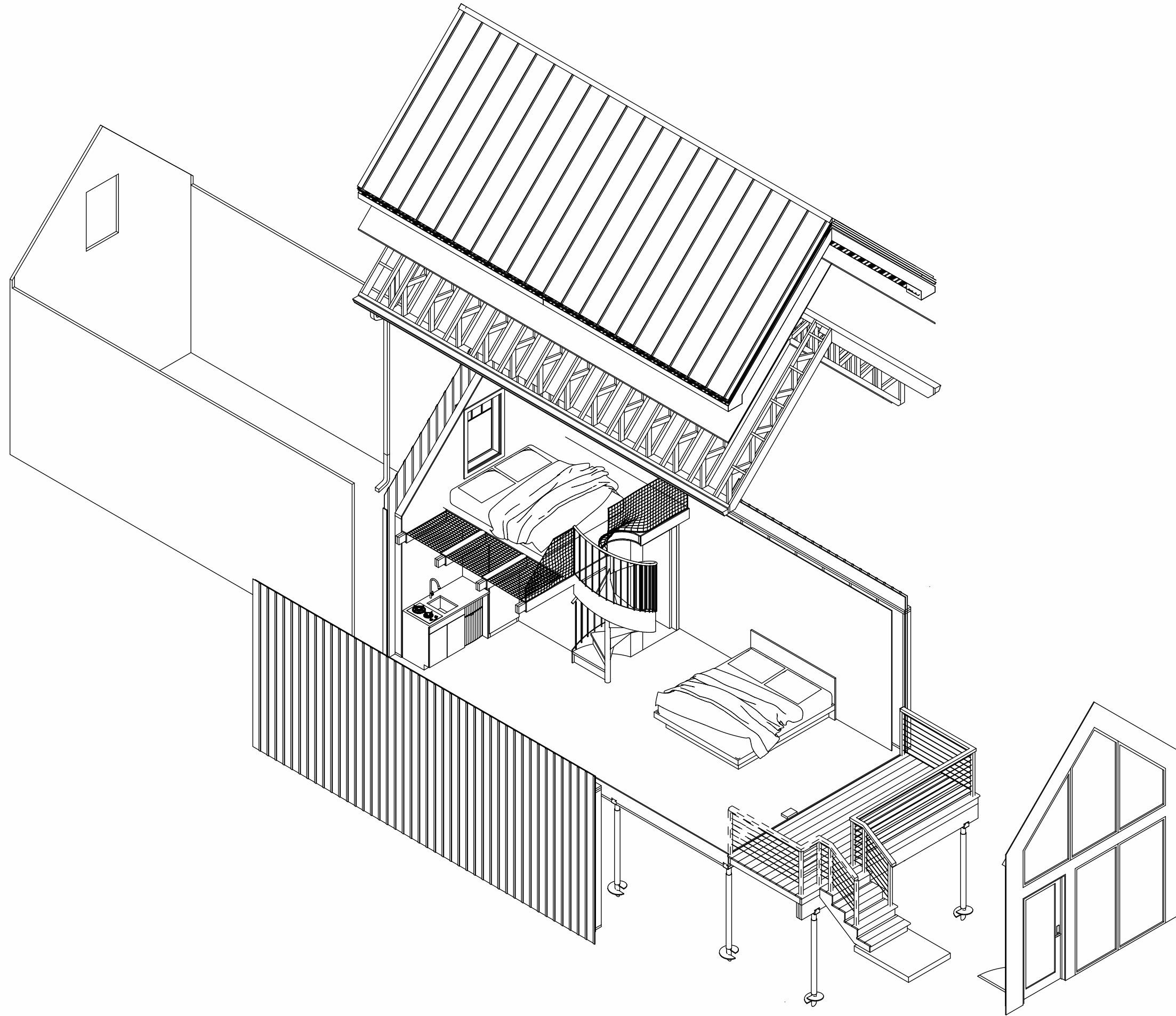
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PROJECT  
PROJECT NO.  
58

ISSUE  
10.02.2023  
DRAWN BY  
Jaimie Gagné

GENERAL NOTES

A.01



**TYPICAL SINGLE UNIT - GENERAL NOTES**

UNIT DIMENSIONS

EACH SINGLE UNIT MEASURES EXTERNALLY AT 13'-4" IN WIDTH AND 25'-3" IN LENGTH, WITH AN APPROXIMATE FOOTPRINT OF 336 SF. MAXIMUM HEIGHT WILL VARY BUT SHALL NOT EXCEED 22'-6".

CONSTRUCTION

DESIGNED IN COMPLIANCE WITH 2018 IRC STANDARDS, THESE STRUCTURES SPECIFICALLY ADHERE TO APPENDIX Q OF THE NY RESIDENTIAL CODE.

ENERGY CODE

COMPLIANCE WITH THE 2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) IS STRICTLY MAINTAINED FOR ALL SINGLE UNITS.

UTILITIES

EACH UNIT FEATURES A UTILITY CHASE OR CLOSET, WHICH HOUSES A HOT WATER ON-DEMAND UNIT AND A 50-AMP ELECTRICAL PANEL.

HVAC

A 12K BTU HEAT PUMP SYSTEM IS INSTALLED IN EACH UNIT TO PROVIDE BOTH HEATING AND AIR CONDITIONING.

AMENITIES

UNITS ARE EQUIPPED WITH A SLEEPING AREA, A LOFT SPACE WITH AN ADDITIONAL BED, A BATHROOM, AND A KITCHENETTE.

SEPARATION

A MINIMUM OF 10-FOOT SEPARATION IS MAINTAINED BETWEEN EACH UNIT AND ADJACENT BUILDINGS ON THE PROPERTY.

USAGE

THESE UNITS ARE PRIMARILY DESIGNED FOR SHORT-TERM OCCUPANCY.



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**TYPE SGL  
NEW SINGLE  
OCCUPANCY UNIT**



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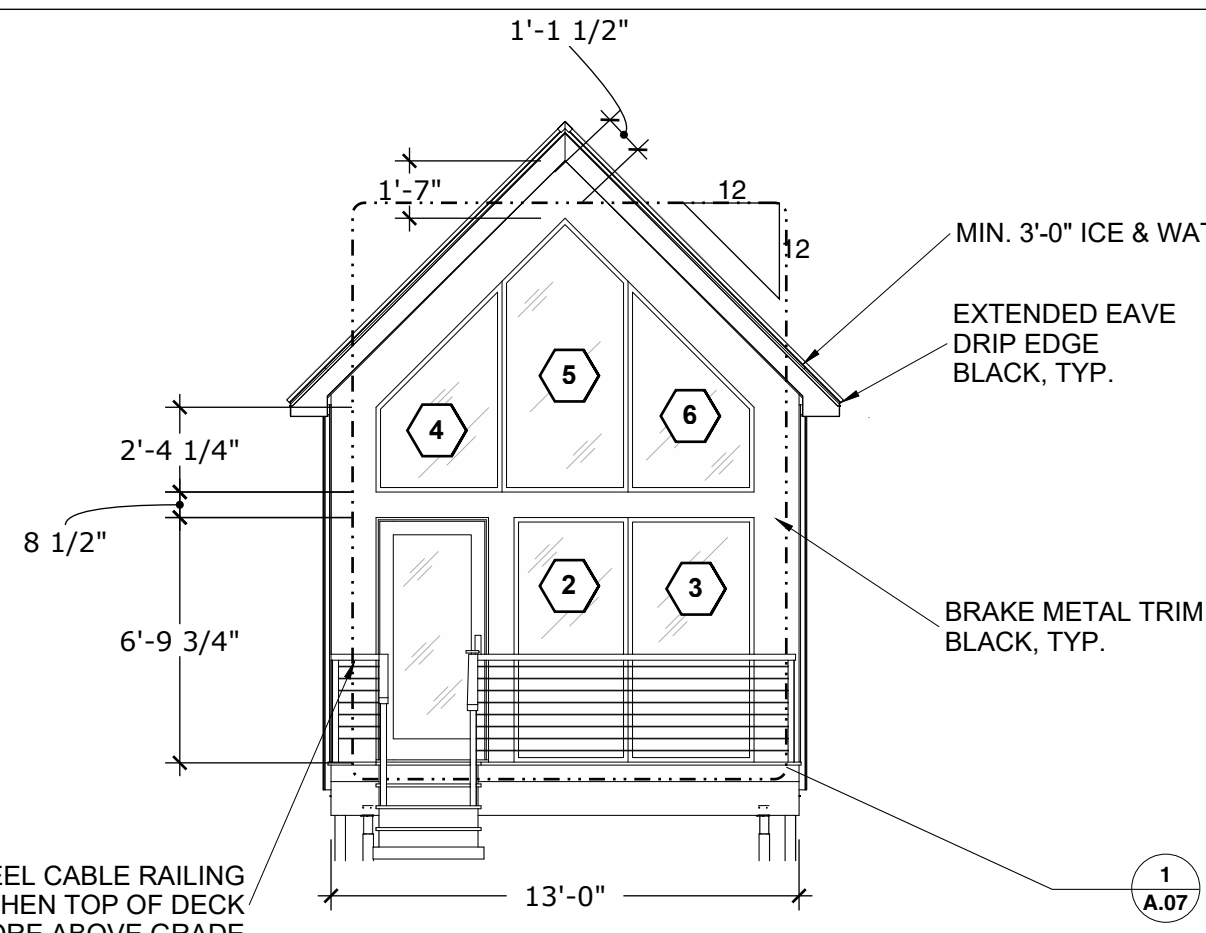
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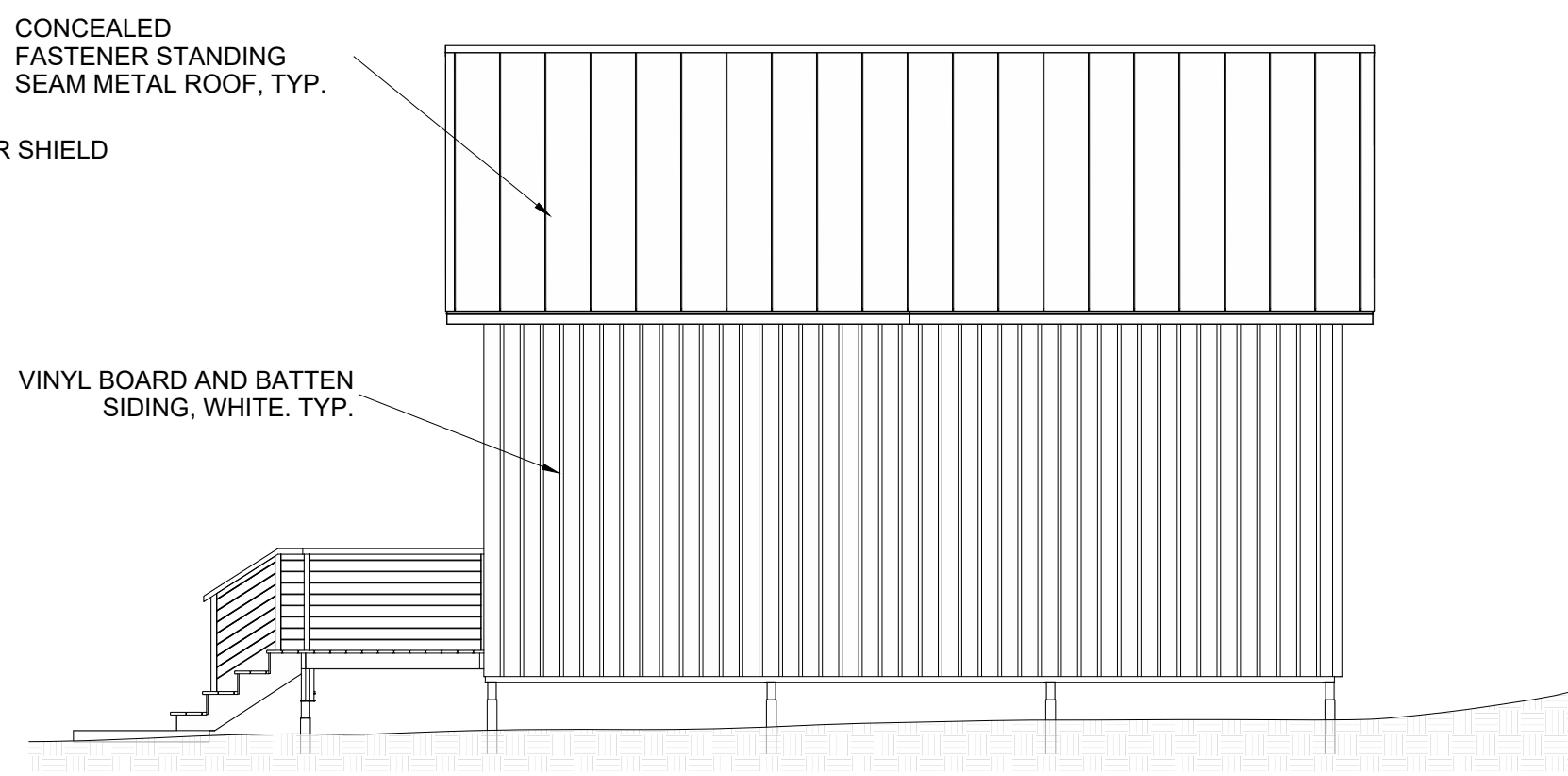
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SGL ELEVATIONS

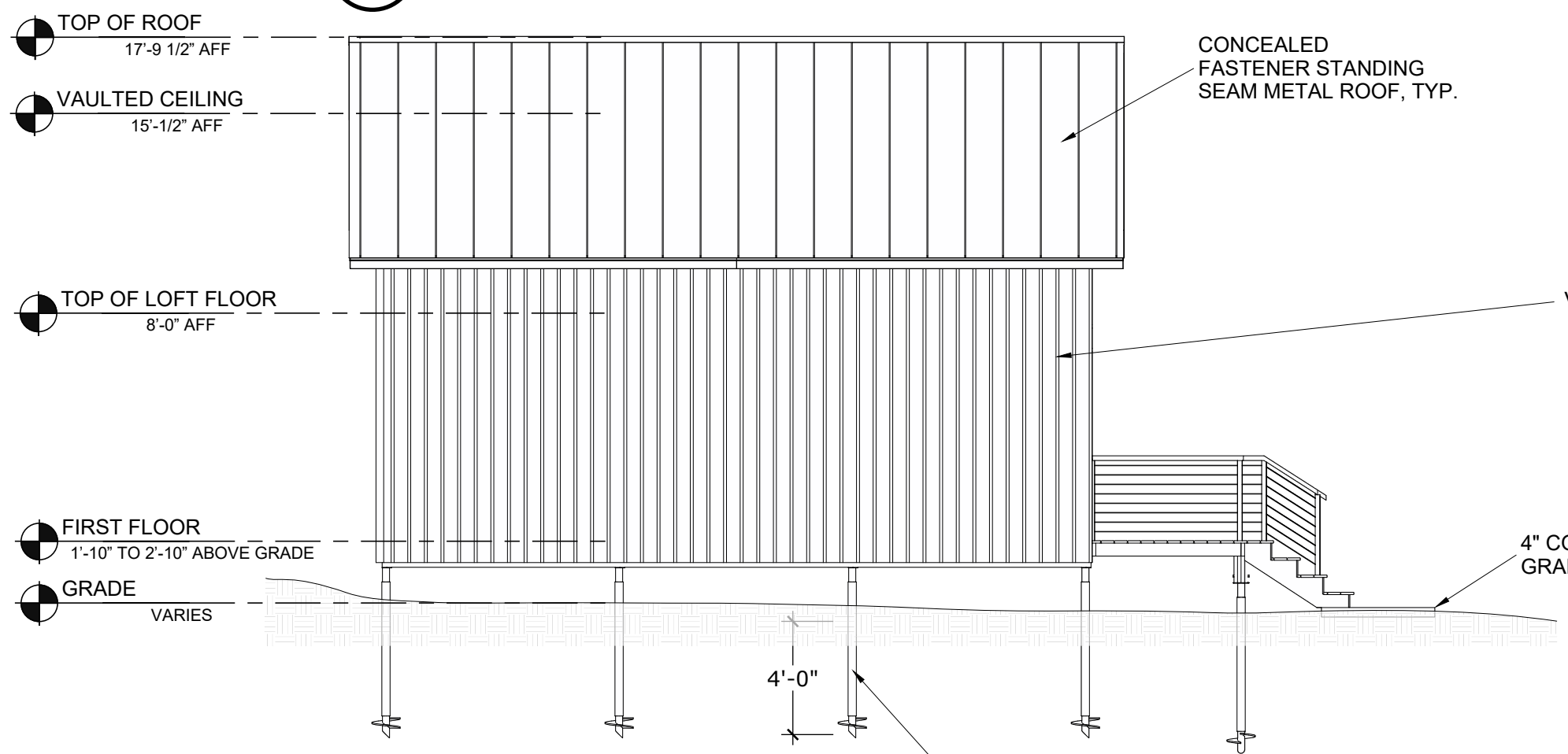
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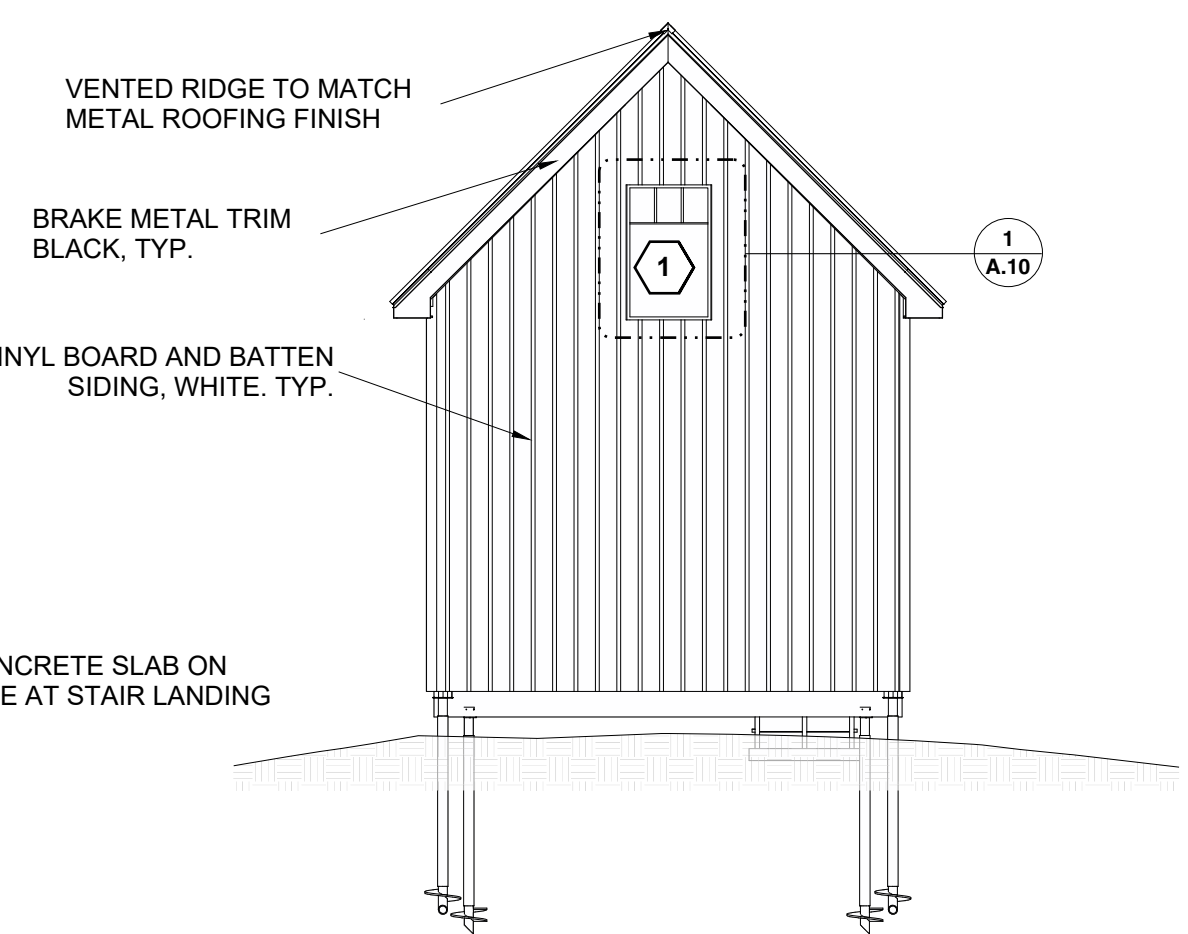
**1 NORTH ELEVATION, TYP.** SCALE: 3/16" = 1'-0"



**2 WEST ELEVATION, TYP.** SCALE: 3/16" = 1'-0"



**3 EAST ELEVATION, TYP.** SCALE: 3/16" = 1'-0"



**4 SOUTH ELEVATION, TYP.** SCALE: 3/16" = 1'-0"

HEIGHT OF STRUCTURES ABOVE GRADE MAY VARY BETWEEN 19'-7 1/2" AND 20'-7 1/2" ABOVE GRADE



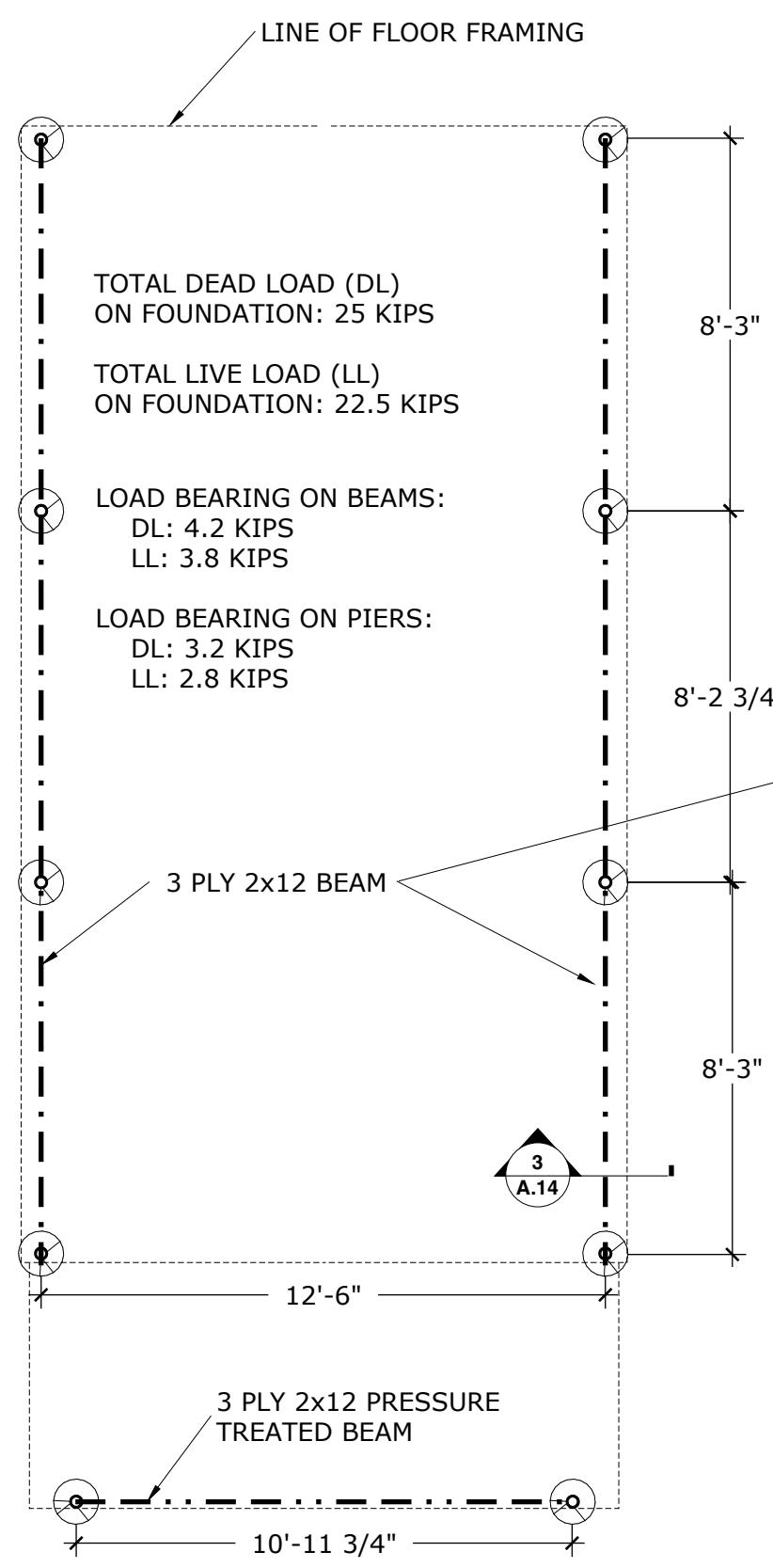
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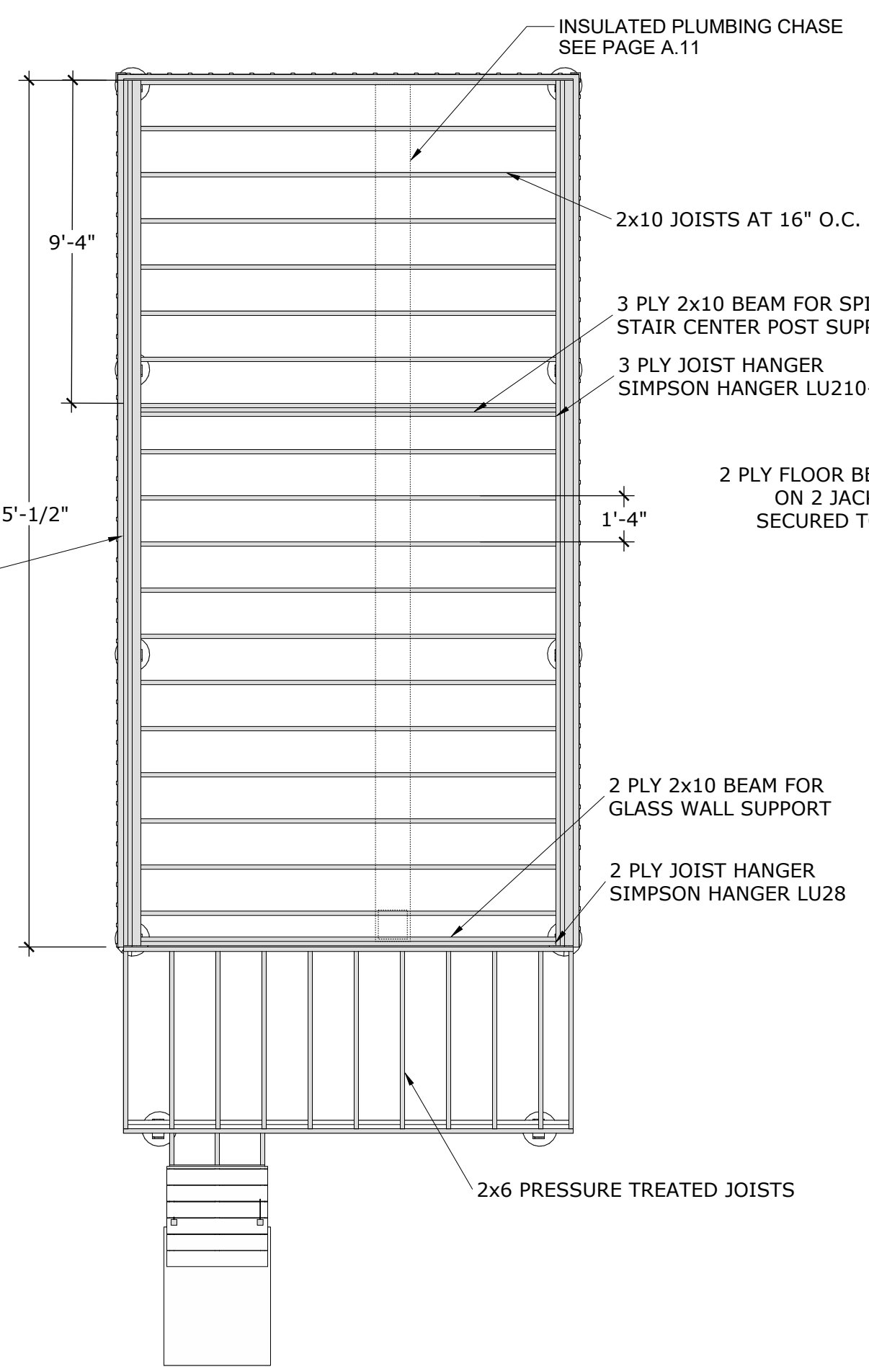
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SGL FOUNDATION &  
FLOOR FRAMING  
PLAN

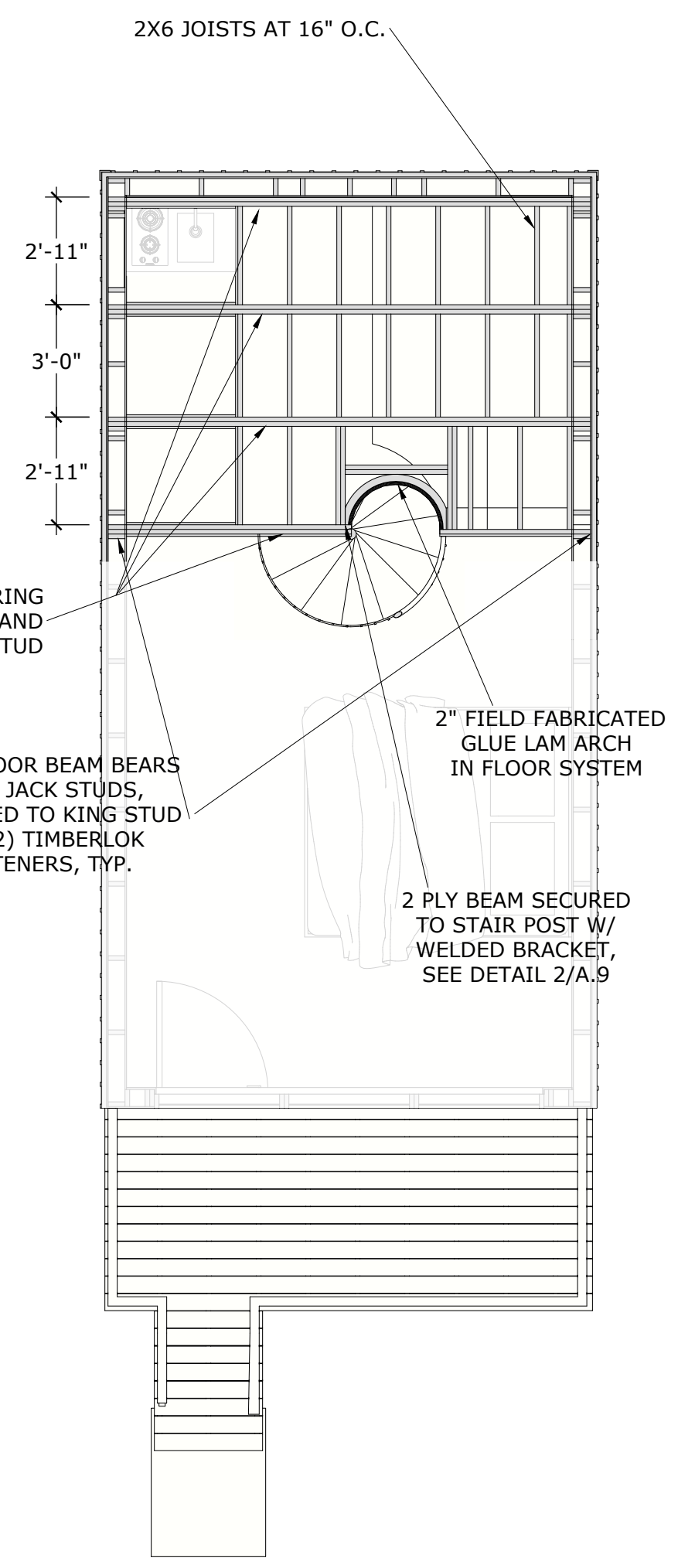


HELICAL PIER & BEAM FOUNDATION SYSTEM:  
APPROXIMATE LOCATIONS SHOWN ON PLANS  
ENGINEERED SPECIFICATIONS TO BE  
SUPPLIED BY HELICAL PIER ENGINEER

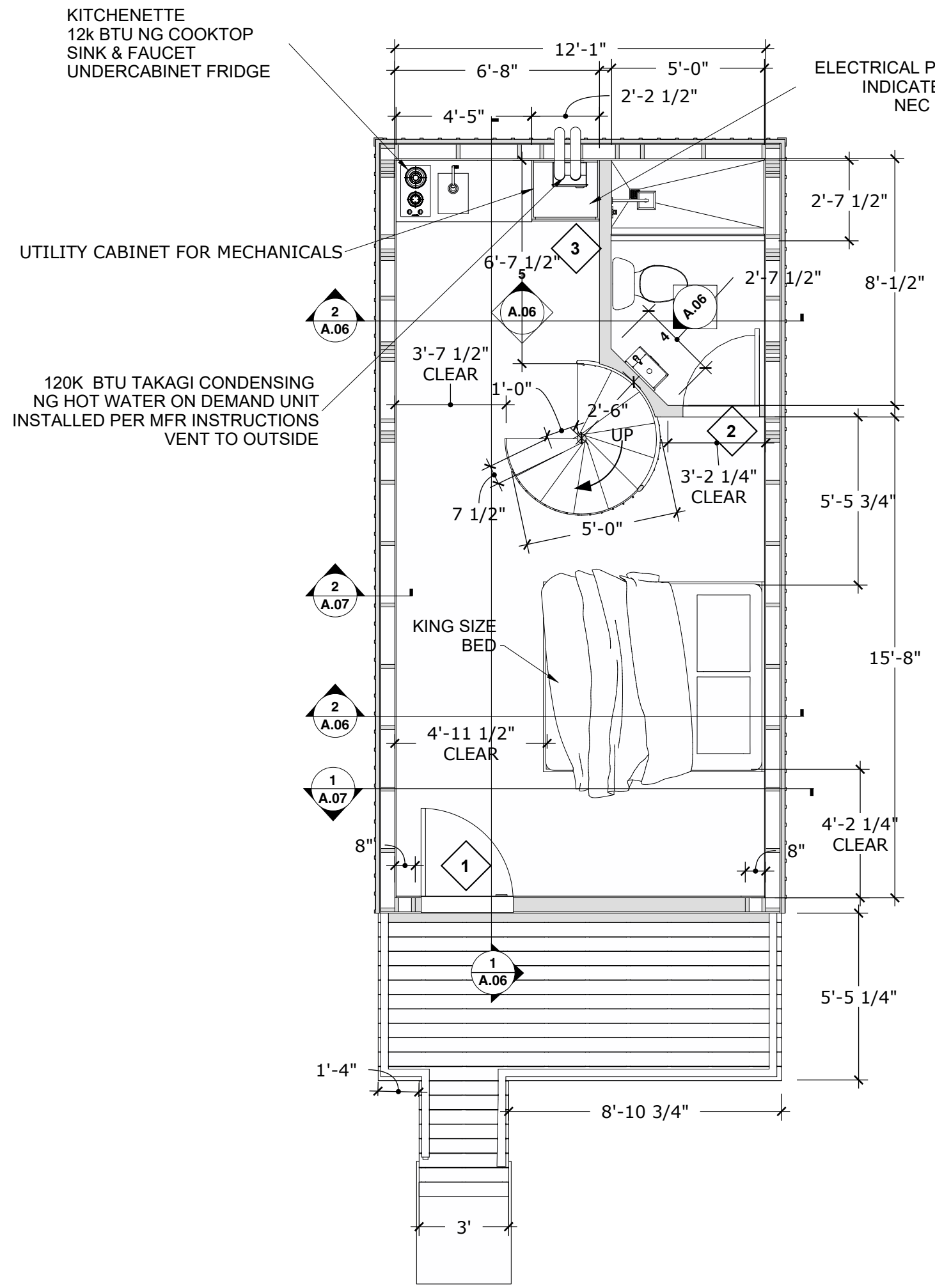
**1 FOUNDATION PLAN** SCALE: 1/4" = 1'-0"



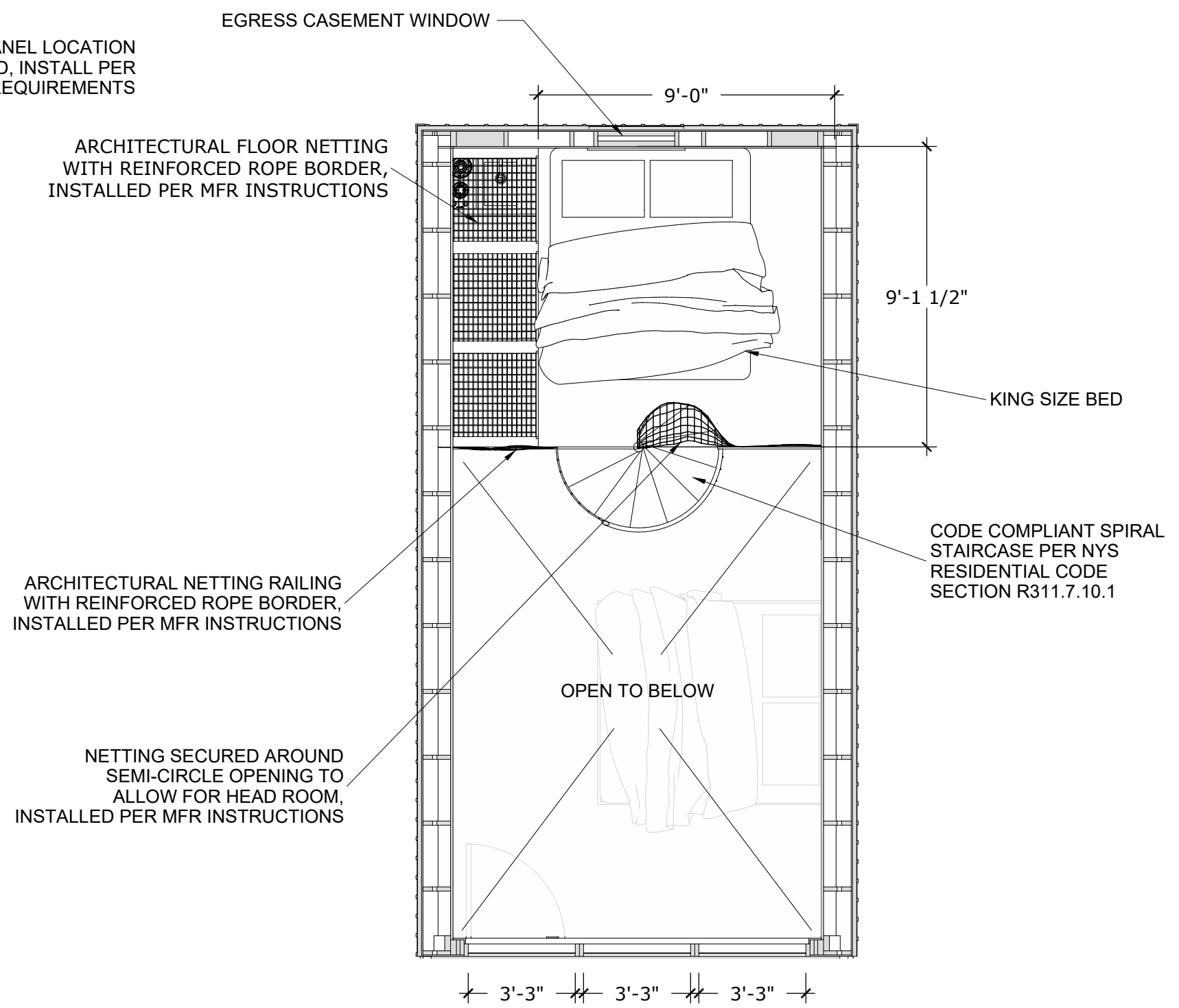
**1 FIRST FLOOR FRAMING PLAN** SCALE: 1/4" = 1'-0"



**1 LOFT FLOOR FRAMING PLAN** SCALE: 1/4" = 1'-0"



**1 FIRST FLOOR PLAN** SCALE: 1/4" = 1'-0"



**2 LOFT PLAN** SCALE: 1/4" = 1'-0"

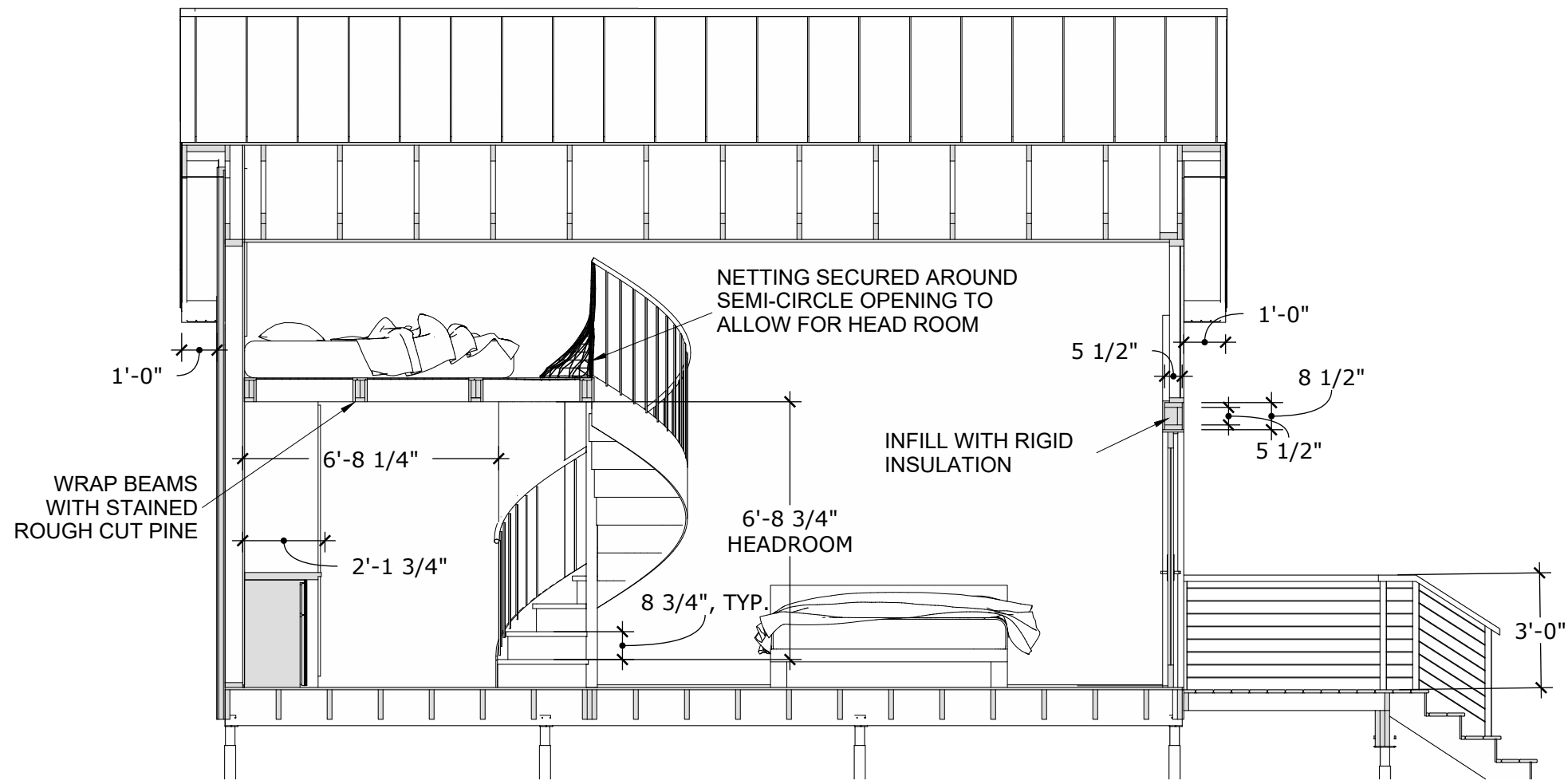
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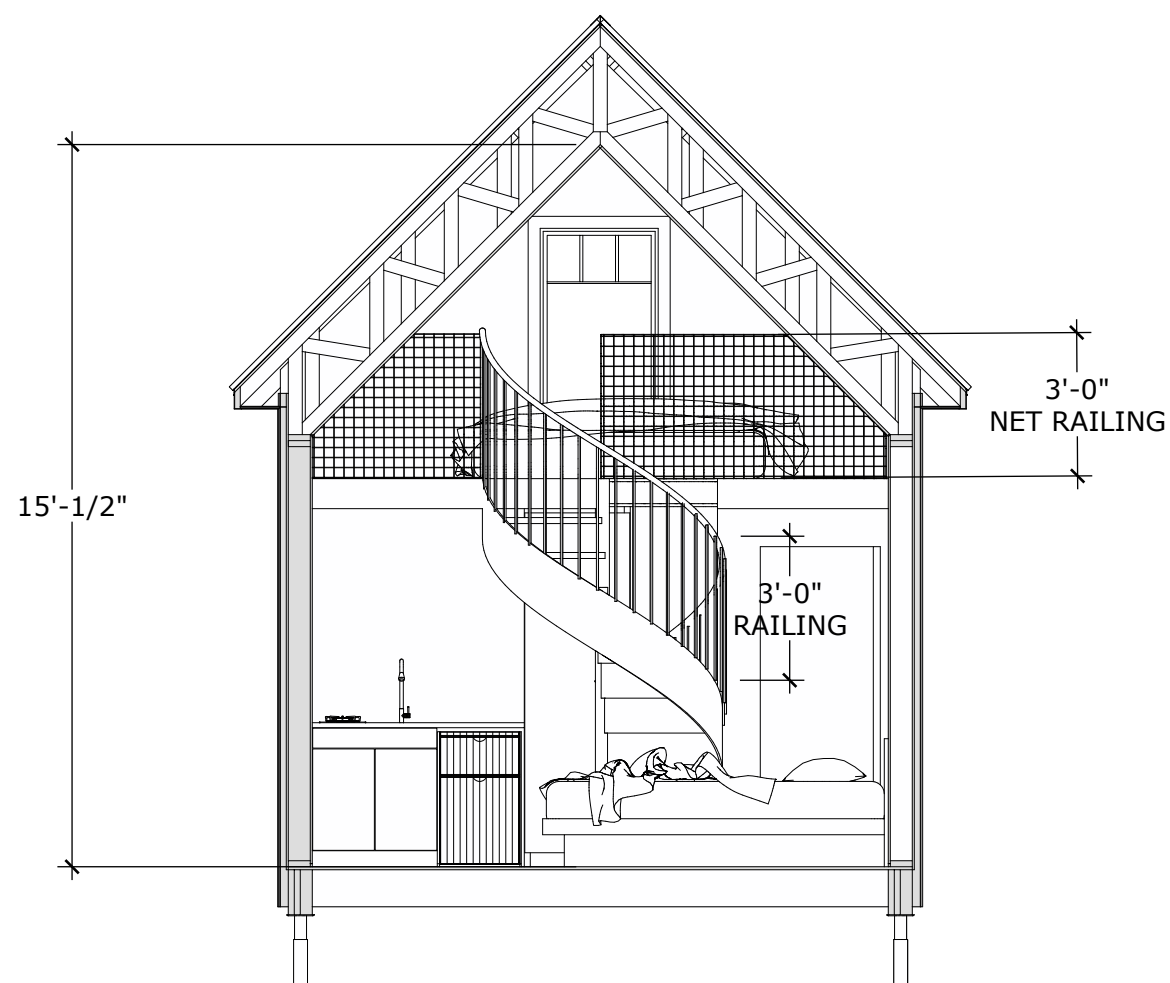
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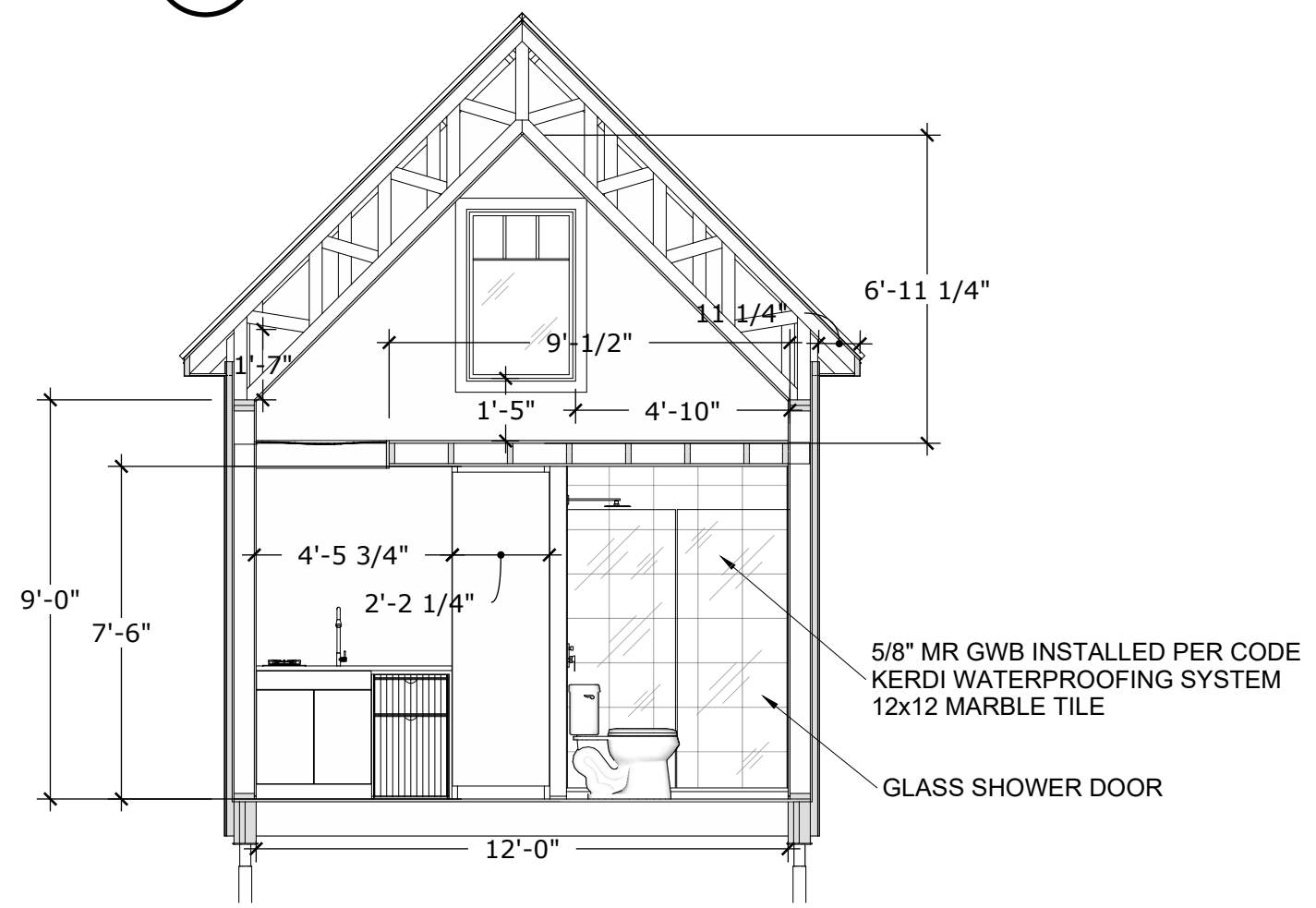
**SGL FIRST FLOOR & LOFT PLAN**



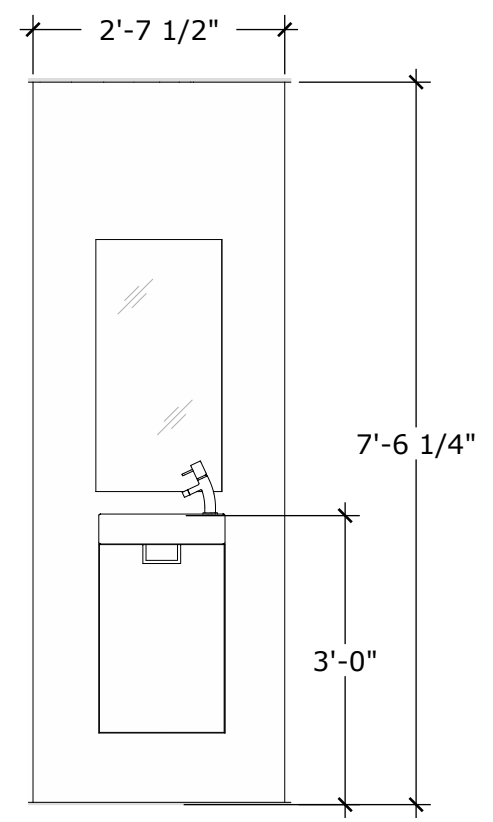
**1 SECTION LOFT & STAIRS** SCALE: 1/4" = 1'-0"



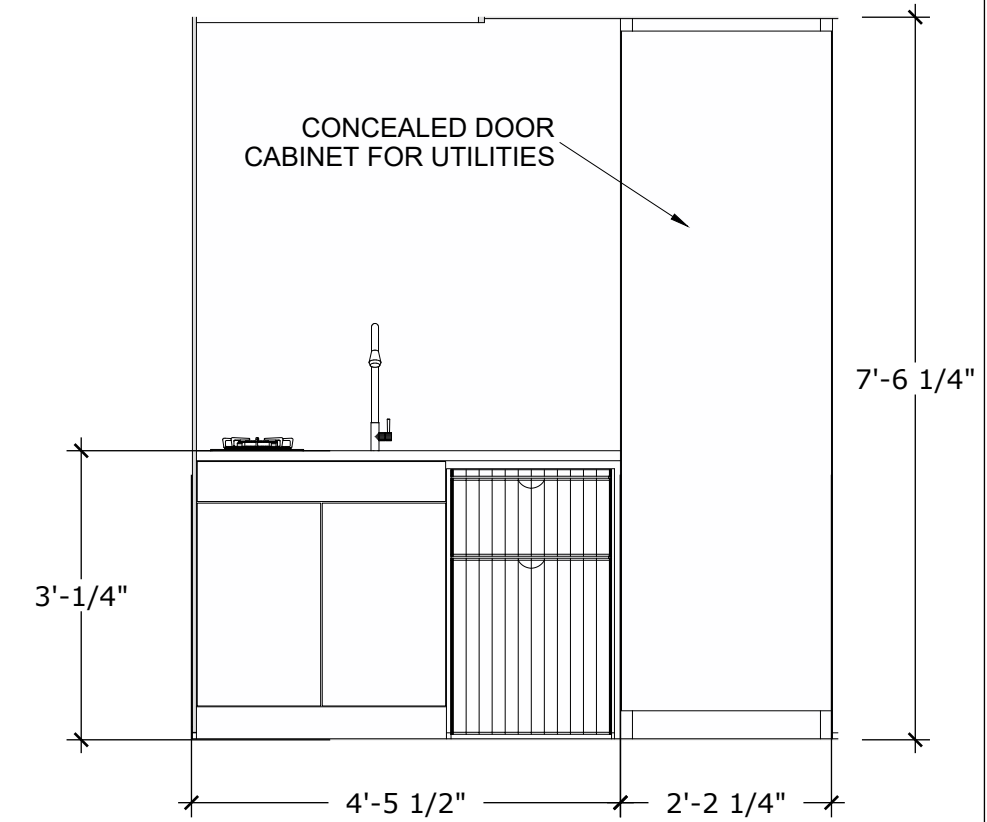
**2 SECTION RAILING** SCALE: 1/4" = 1'-0"



**3 SECTION KITCHENETTE & BATH** SCALE: 1/4" = 1'-0"



**4 VANITY ELEVATION** SCALE: 1/2" = 1'-0"



**5 KITCHENETTE ELEVATION** SCALE: 1/2" = 1'-0"

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SGL SECTIONS &  
ELEVATIONS



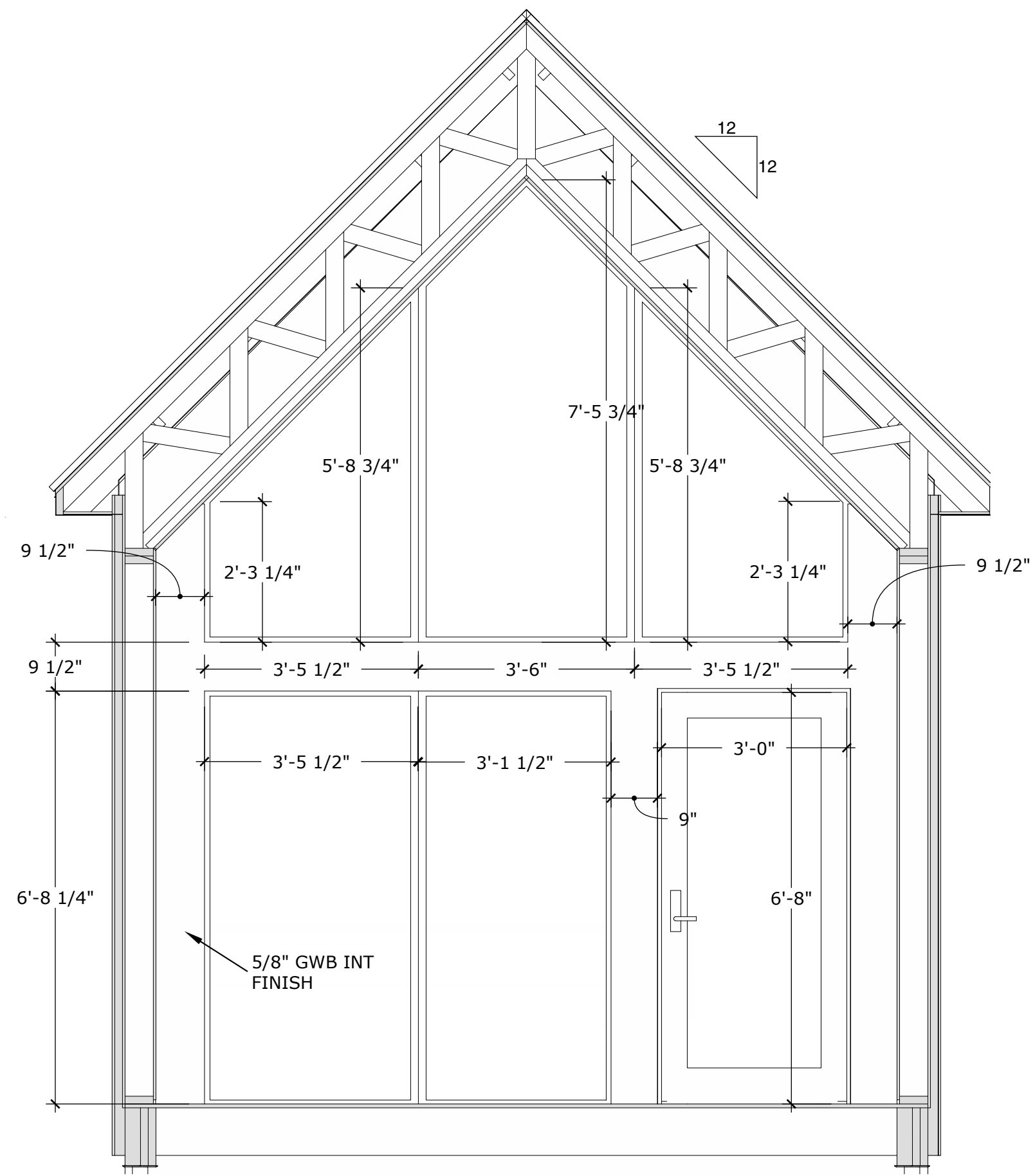
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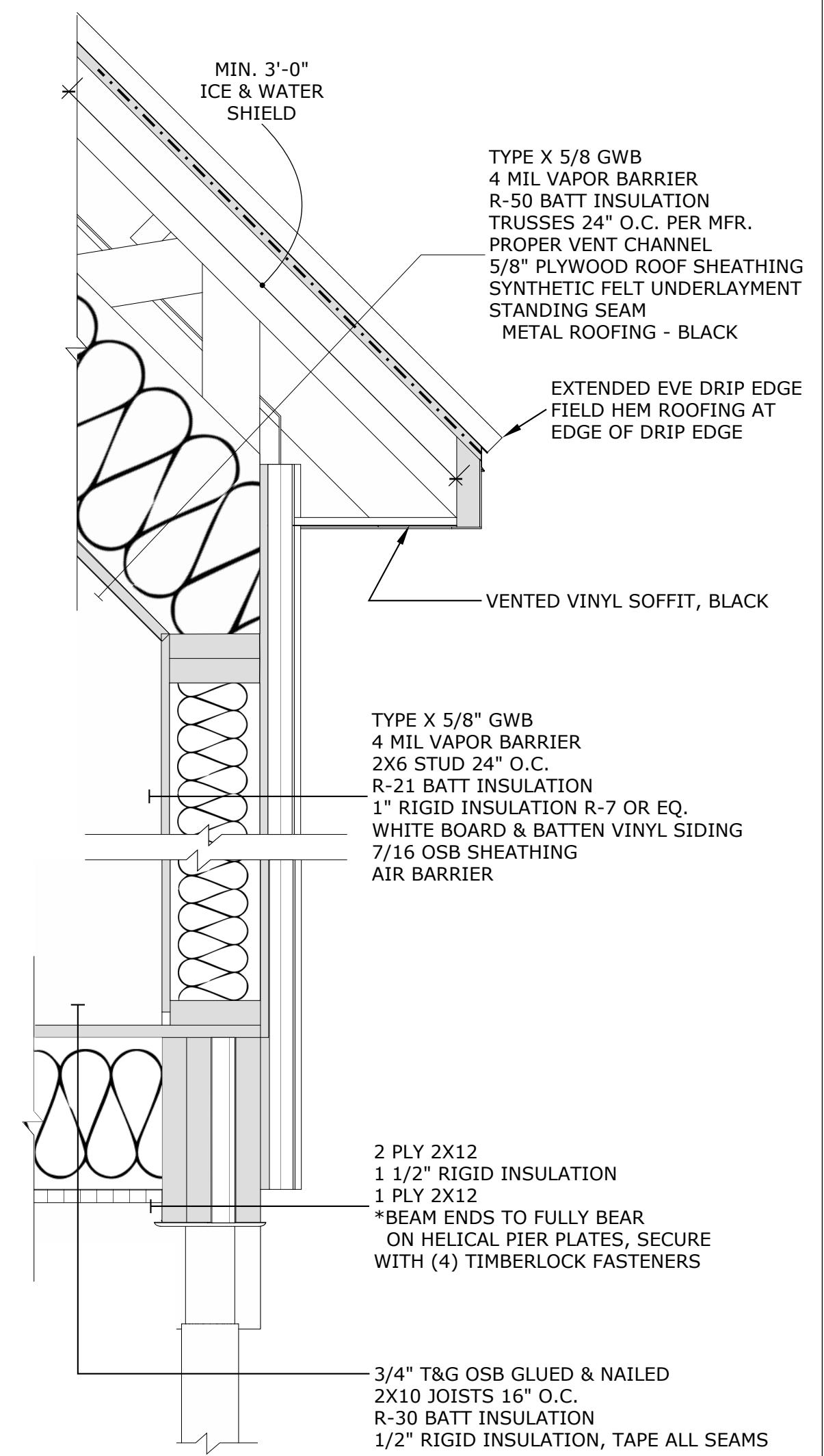
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**SGL ENVELOPE &  
WINDOW DETAILS**



**1** **GLASS WALL ELEVATION** SCALE: 1/2" = 1'-0"



**2** **TYPICAL ENVELOPE SECTION** SCALE: 1 1/2" = 1'-0"



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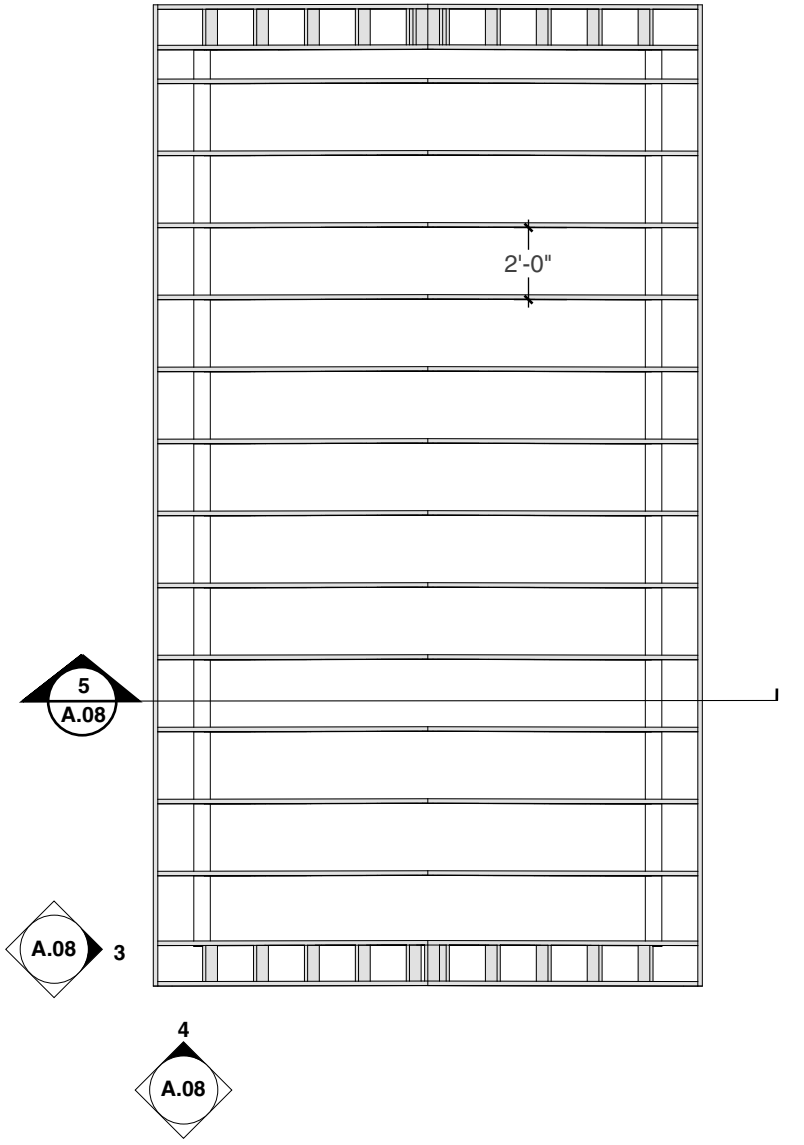
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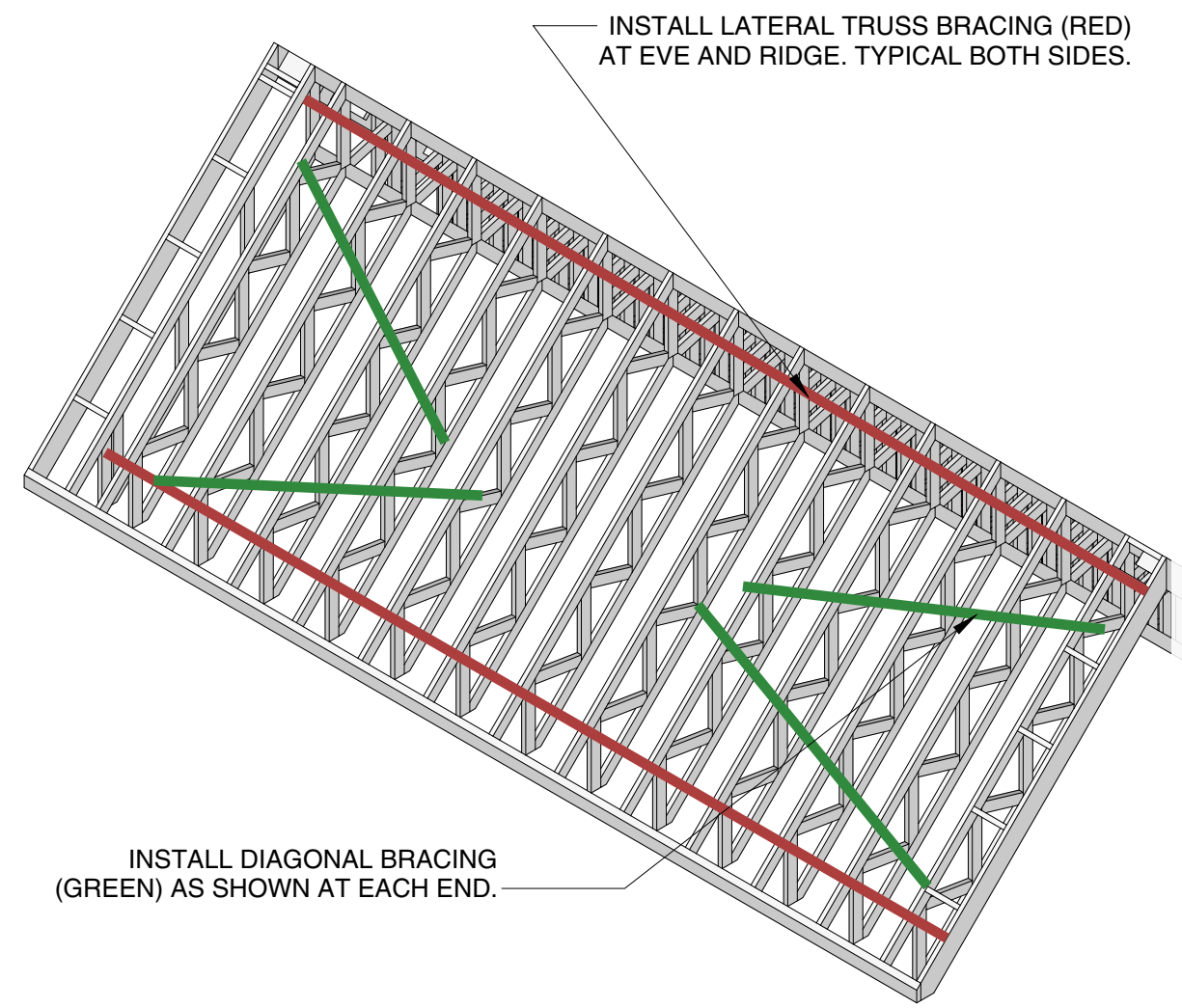
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SGL TRUSS DETAILS

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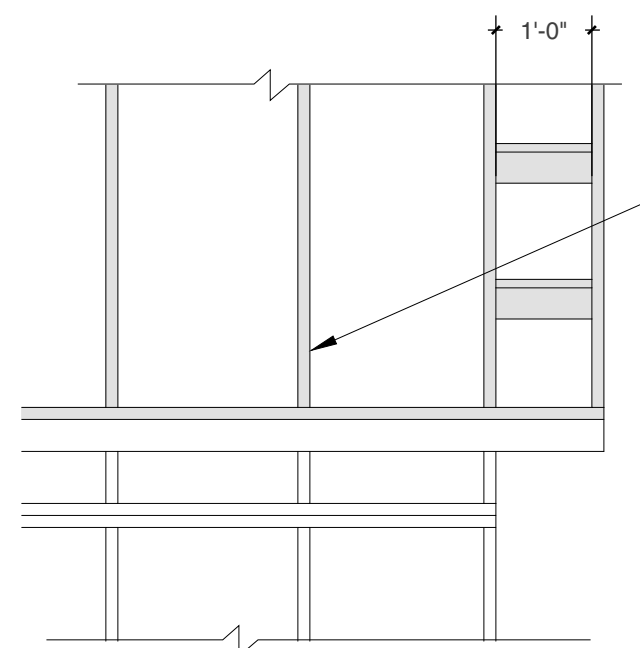
**1 TRUSS PLAN** SCALE: 3/16" = 1'-0"



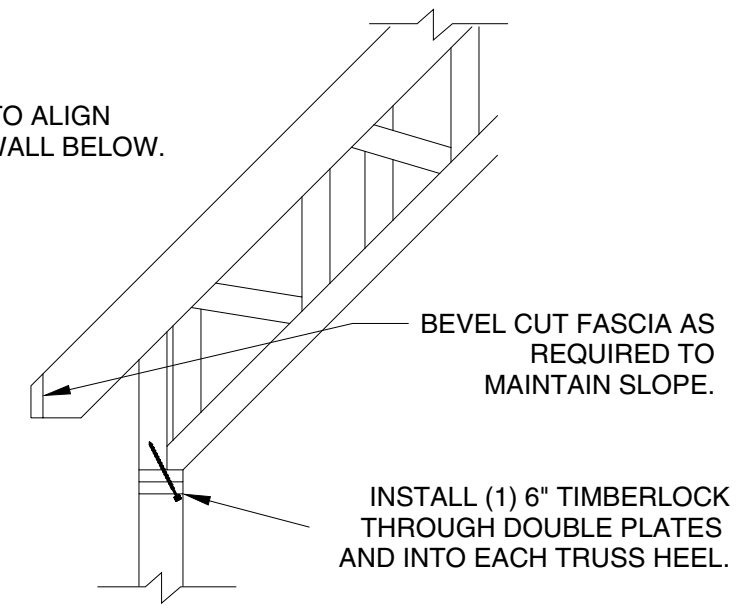
**2 ISOMETRIC TRUSS BRACING** SCALE: N.T.S.

**TRUSSES GENERAL NOTES**

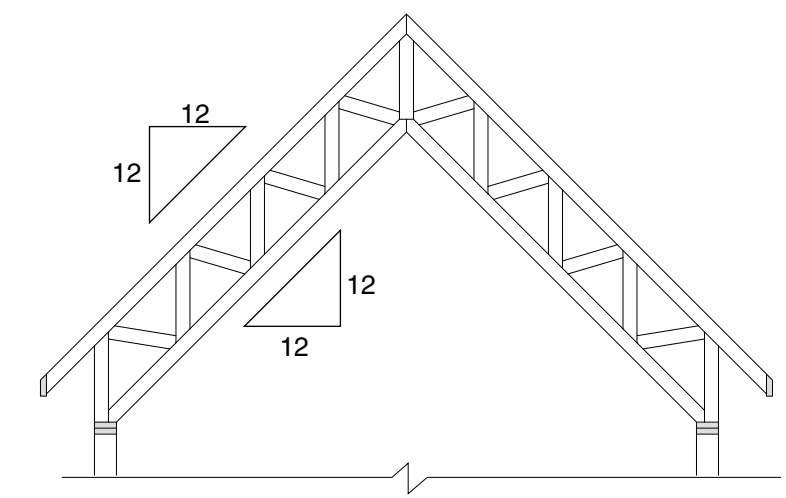
1. ALL TRUSSES TO BE PRE-FABRICATED AND DELIVERED TO SITE, UNLESS OTHERWISE NOTED.
2. ENSURE TRUSS LAYOUT IS IN ALIGNMENT WITH STUDS IN WALLS BELOW.
3. TRUSSES TO BE SPACED AT 24" O.C. UNLESS OTHERWISE SPECIFIED.
4. TRUSS DIAGRAMS ARE FOR ILLUSTRATIVE PURPOSES ONLY. FINAL TRUSS DESIGN SHALL BE IN ACCORDANCE WITH MANUFACTURER'S ENGINEERED DRAWINGS.
5. ALL TRUSSES SHALL BE SECURED WITH (1) 6" TIMBERLOCK THROUGH DOUBLE PLATES AND INTO EACH TRUSS HEEL.
6. INSTALL LATERAL TRUSS BRACING AT EAVES AND RIDGES, INSTALL DIAGONAL BRACING AS INDICATED AT EACH END OF THE TRUSS RUN.
7. OUTLOOKERS AND FASCIA TO BE FRAMED ON SITE USING 2x6 LUMBER.
8. FASCIA TO BE BEVEL CUT AS REQUIRED TO MAINTAIN SLOPE.
9. ALL TRUSS INSTALLATIONS AND BRACINGS TO COMPLY WITH LOCAL BUILDING CODES AND REGULATIONS.
10. CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE TRUSS INSTALLATION.
11. ANY DEVIATIONS FROM THESE NOTES OR DRAWINGS MUST BE APPROVED BY THE ENGINEER OF RECORD.
12. ENSURE PROPER ANCHORAGE OF TRUSSES TO RESIST WIND AND SEISMIC FORCES IN ACCORDANCE WITH CODE REQUIREMENTS.
13. INSPECT ALL TRUSSES FOR DAMAGE PRIOR TO INSTALLATION. DO NOT INSTALL DAMAGED TRUSSES.
14. ALL METAL CONNECTORS AND FASTENERS TO BE GALVANIZED OR OF APPROVED CORROSION-RESISTANT MATERIAL.



**3 FRAMING DETAIL** SCALE: 1/2" = 1'-0"

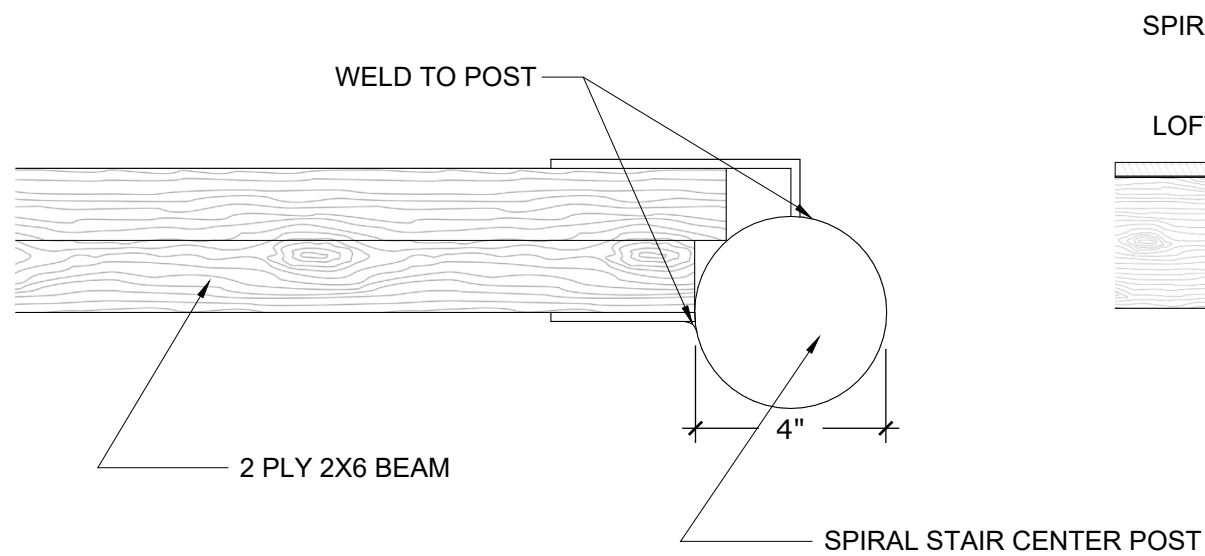


**4 TRUSS ANCHOR DETAIL** SCALE: 1/2" = 1'-0"

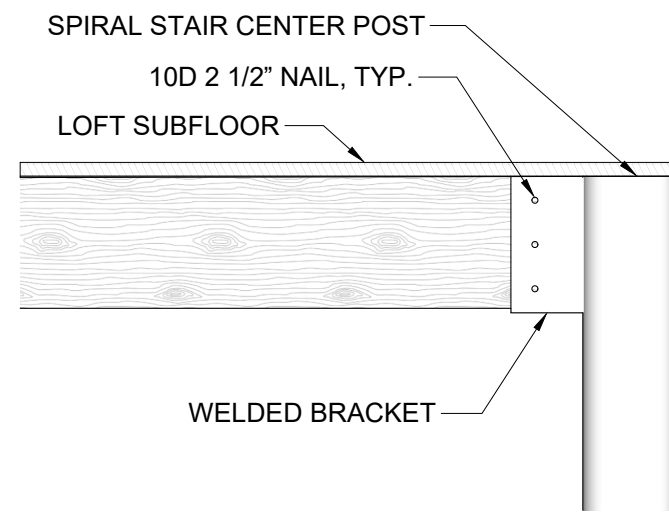


**5 TRUSS DIAGRAM** SCALE: 1/4" = 1'-0"

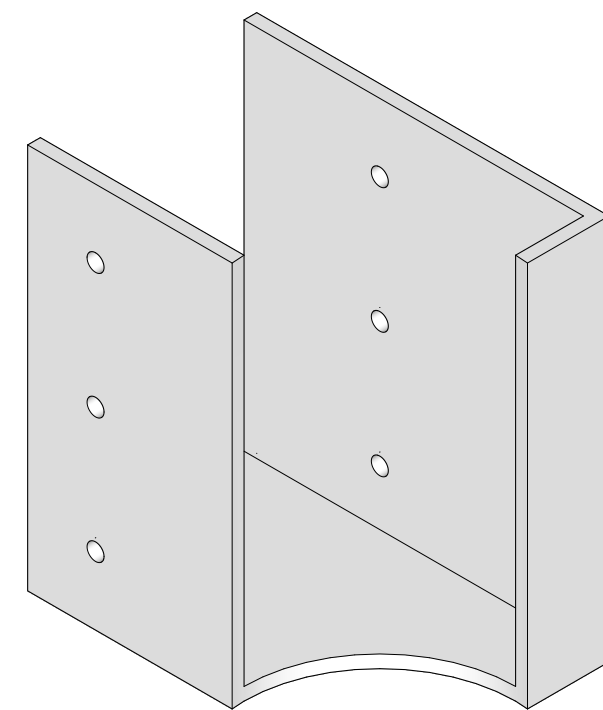




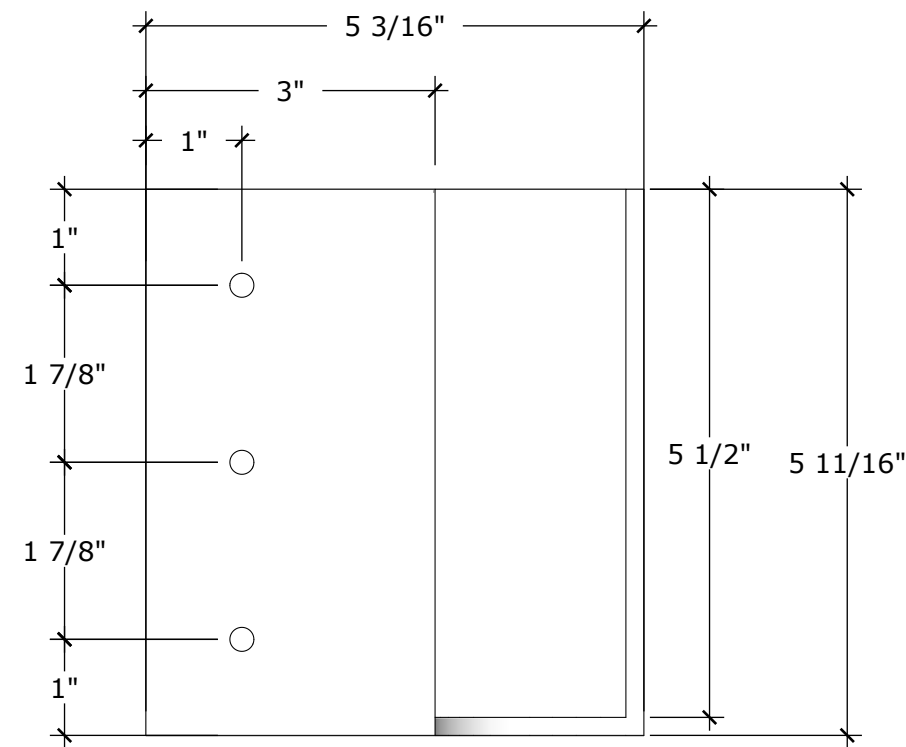
**1** PLAN VIEW ASSEMBLY SCALE: 3" = 1'-0"



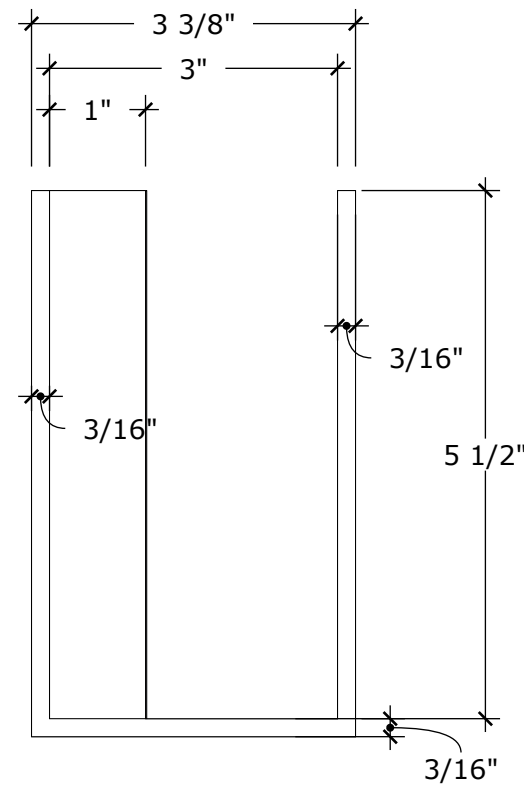
**2** ELEVATION ASSEMBLY SCALE: 1 1/2" = 1'-0"



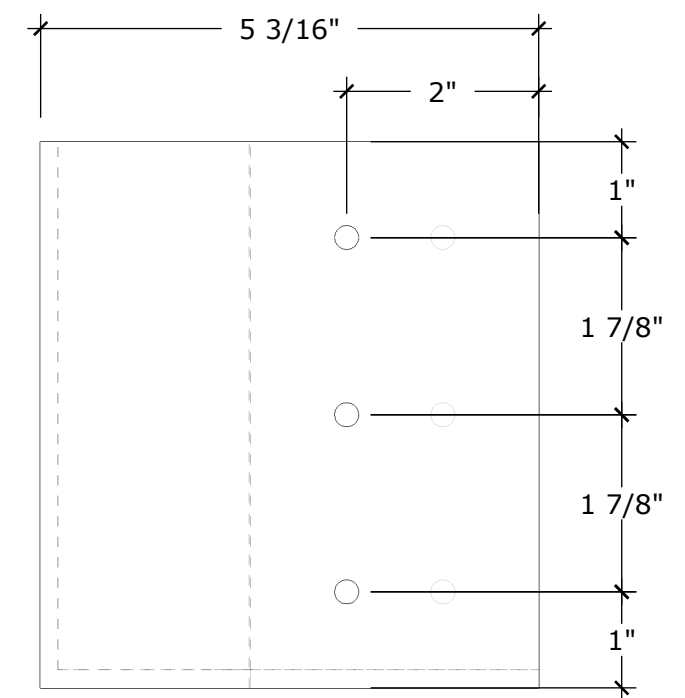
**3** ISOMETRIC BRACKET SCALE: 6" = 1'-0"



**4** FRONT VIEW BRACKET SCALE: 6" = 1'-0"



**5** BEARING END VIEW BRACKET SCALE: 6" = 1'-0"



**6** BACK VIEW BRACKET SCALE: 6" = 1'-0"

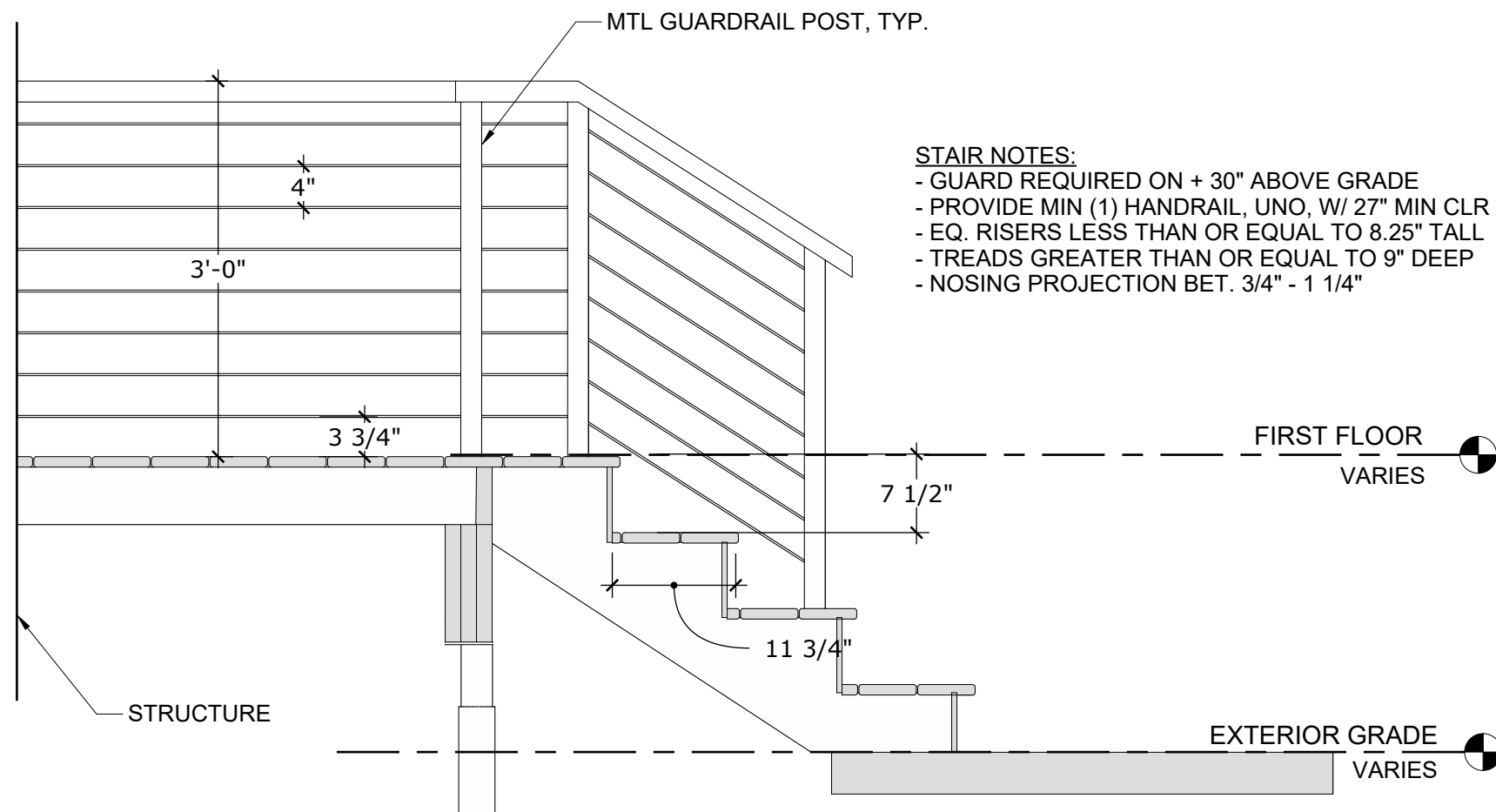
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SGL SPIRAL  
STAIR DETAIL



**STAIR NOTES:**  
 - GUARD REQUIRED ON + 30" ABOVE GRADE  
 - PROVIDE MIN (1) HANDRAIL, UNO, W/ 27" MIN CLR BET. HANDRAILS  
 - EQ. RISERS LESS THAN OR EQUAL TO 8.25" TALL  
 - TREADS GREATER THAN OR EQUAL TO 9" DEEP  
 - NOSING PROJECTION BET. 3/4" - 1 1/4"

**GENERAL STAIR NOTES**

1. ALL STAIRS / HANDRAILS / GUARDRAILS TO BE INC COMPLIANCE WITH NYSBC R311.7.8 AND R312.1.
2. ALL HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONT. RUN OR FLIGHT WITH (4) OR MORE RISERS. HANDRAILS TO BE 36" ABOVE WALKING SURFACE. HANDRAILS SHALL BE CONT. FOR THE FULL LENGTH OF THE STAIR AND TERMINATED TO NEWEL POST OR WALL. HANDRAILS SHALL HAVE A SPACE OF NOT LESS THAN 1 1/2" BET. WALL AND HANDRAIL. HANDRAIL TO BE CIRCULAR 1 1/2" IN DIAMETER.
3. GUARDRAILS ARE TO BE PROVIDED ALONG ANY OPEN-SIDED WALKING SURFACE MORE THAN 30" ABOVE FLOOR OR GRADE. GUARDRAILS TO EXTEND TO 36". NO OPENING SHALL BE LARGE ENOUGH TO ALLOW A 4" DIAMETER SPHERE TO PASS THROUGH WITH THE EXCEPTION OF 6" DIAMETER AT THE TRIANGULAR OPENING BET. STAIR TREAD, RISER AND BOTTOM RAIL OF GUARD.
4. STAIRWAYS SHALL NOT BE LESS THAN 36" CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. THE CLEAR WIDTH OF STAIRWAYS AT AND BELOW THE HANDRAIL HEIGHT, INCLUDING TREADS AND LANDINGS, SHALL NOT BE LESS THAN 31 1/2" WHERE A HANDRAIL IS INSTALLED ON ONE SIDE AND 27" WHERE HANDRAILS ARE INSTALLED ON BOTH SIDES.

**1 TYPICAL STAIR & GAURDRAIL** SCALE: 3/4" = 1'-0"

**WINDOW SCHEDULE**

NO.	REFERENCE ROOM	MANUFACTURE	DETAILS MODEL/TYPE	UNIT STOCK NO	OPENING SPECIFICATIONS							NOTES
					R.O. WIDTH	R.O. HEIGHT	GLASS SF	VENT SF	EGRESS SF	C.O. WIDTH	C.O. HEIGHT	
1	LOFT (EGRESS)	JELD-WEN	CASEMENT	PREM. VINYL	2' - 4"	3' - 9"	5.8	5.752	5.752	1' - 8 3/4"	3' - 3 7/8"	SILL AT 1'-5" A.F.F. NON-LOAD BEARING HEADER
2	BEDROOM	TBD	PICTURE	TBD	6'-8"	6'-10"	19.08	-	-	-	-	RO COMBINED W/ WADJASCENT WINDOWS
3	BEDROOM	TBD	PICTURE	TBD	-	6'-10"	21.26	-	-	-	-	-
4	GABLE	TBD	PICTURE	TBD	10'-6"	5'-11"	2.06	-	-	-	-	RO COMBINED W/ WADJASCENT WINDOWS
5	GABLE	TBD	PICTURE	TBD	-	7'-8"	21.76	-	-	-	-	SEE ELEVATION FOR LAYOUT
6	GABLE	TBD	PICTURE	TBD	-	5'-11"	0.00	-	-	-	-	-

**NATURAL LIGHT, VENTILATION & EMERGENCY EGRESS REQUIREMENTS**

NO.	ROOM	AREA SF	REQ. LIGHT 8%	REQ. VENT 4%	REQ EGRESS
1	BEDROOM #1	171 SF	13.68 SF	6.84 SF	5.7
2	BEDROOM #2	143 SF	11.44 SF	5.72 SF	5.7
3	BEDROOM #3	133 SF	10.64 SF	5.32 SF	5.7

**DOOR SCHEDULE**

OPENING	DOOR							FRAME			DETAILS			RATING	COMMENTS	WALL TYPE
	NO.	ROOM	WIDTH	HEIGHT	UNIT	COMP.	PTD	WD	PTD	WD	PTD	WD	PTD			
1	BATHROOM	2' - 8"	6' - 8"	0' - 1 3/4"	6 PANEL	COMP.	PTD	-	WD	PTD	-	-	-	N/A		INTERIOR
2	BEDROOM	3' - 0"	6' - 8"	0' - 1 3/4"	1 LITE	WD/GLASS	PTD	-	WD	PTD	-	-	-	N/A		EXTERIOR

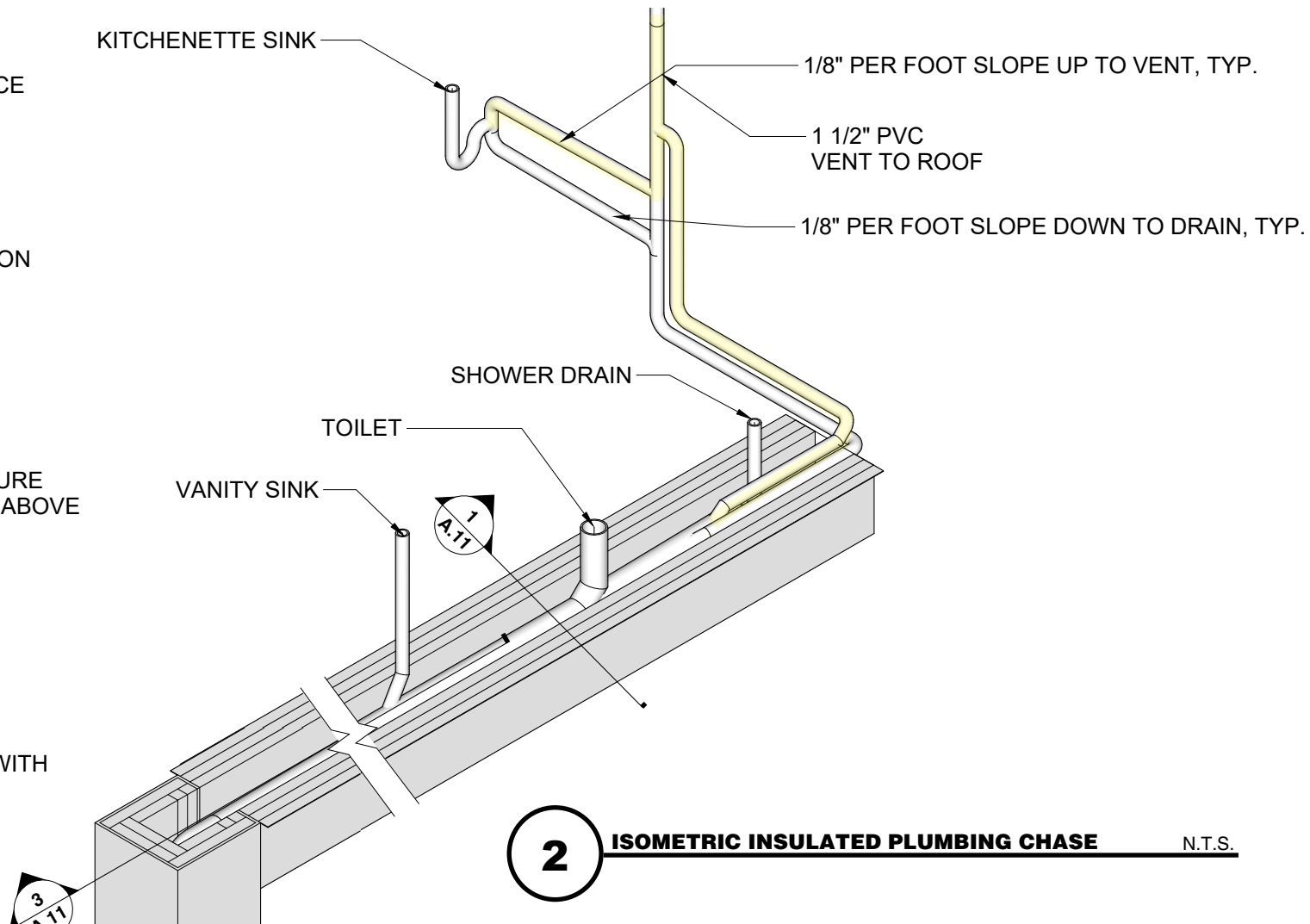
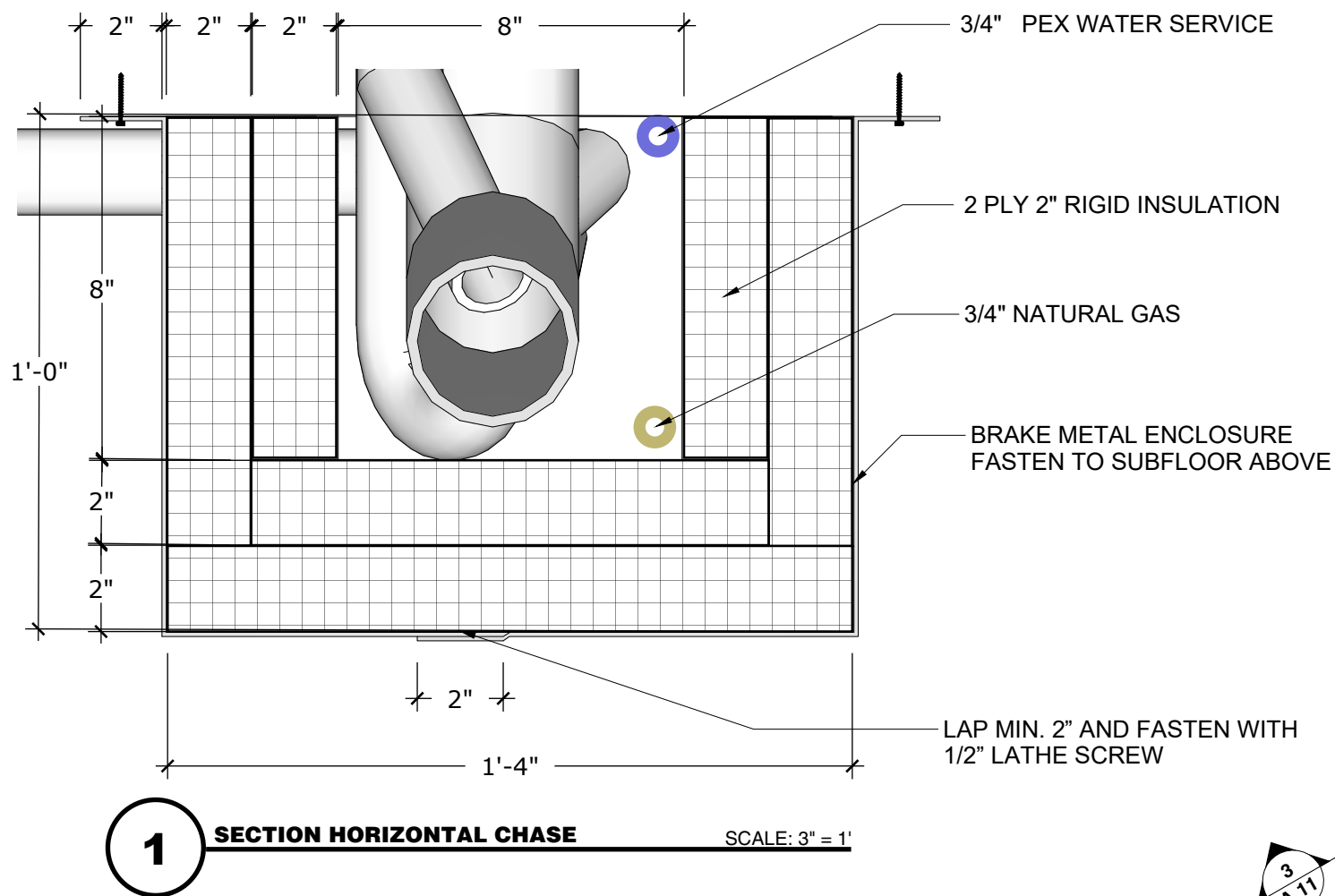
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SGL  
 DETAILS &  
 SCHEDULES



**PLUMBING GENERAL NOTES**

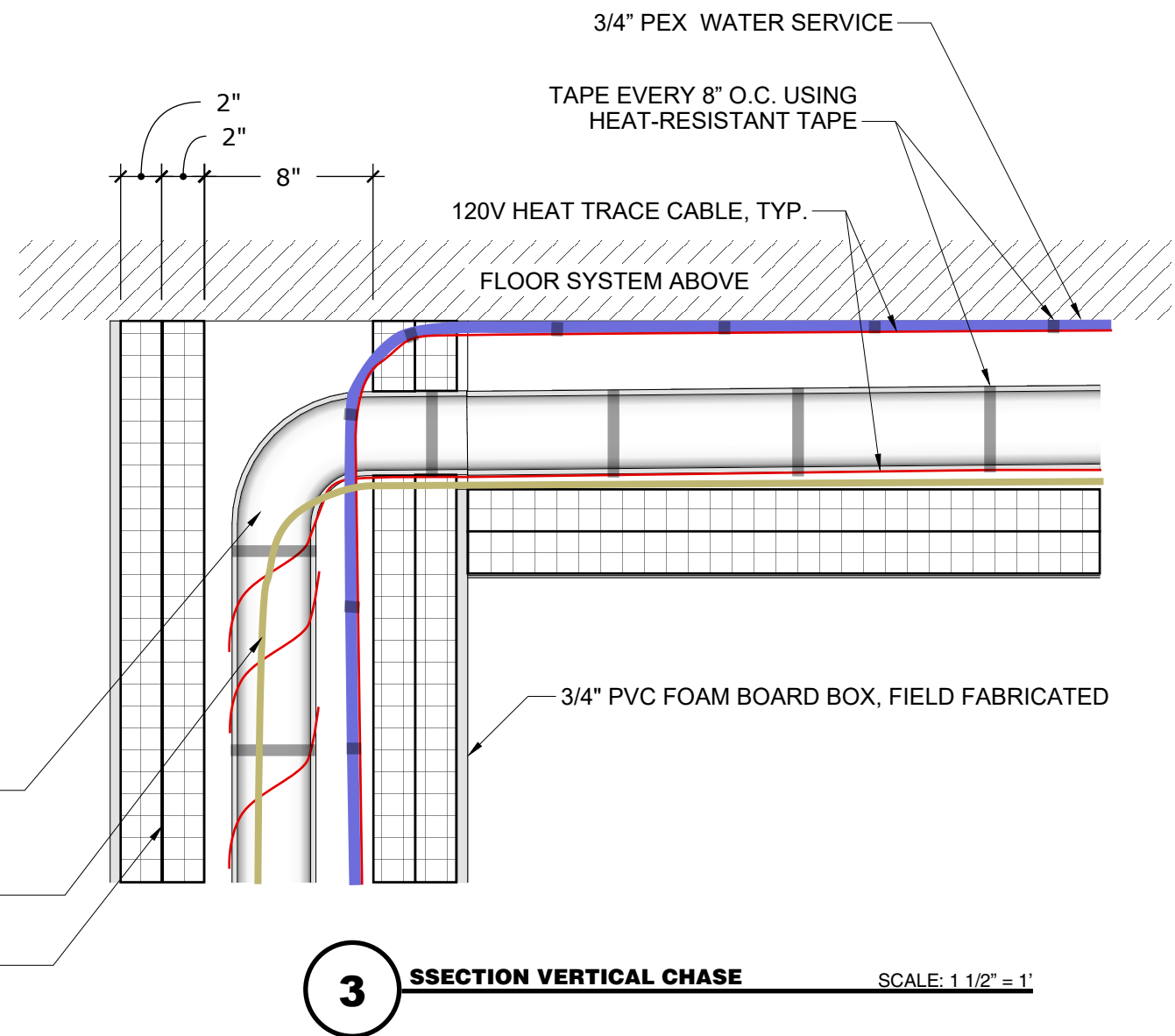
1. ALL PIPING SHALL BE SUPPORTED AND SECURED PER NYS PLUMBING CODE REQUIREMENTS.
2. 3/4" PEX WATER SERVICE TO BE INSULATED AND PROTECTED WITHIN THE CHASE.
3. TAPE 3/4" PEX EVERY 8" O.C. USING HEAT-RESISTANT TAPE.
4. 120V HEAT TRACE CABLE TYPICAL FOR ALL FREEZE-PRONE PIPING WITHIN CHASE.
5. FLOOR SYSTEM ABOVE INSULATED PIPE CHASE MUST BE PROTECTED FROM MECHANICAL DAMAGE.
6. INSTALL FIBERGLASS PIPE INSULATION AFTER HEAT TRACE CABLE INSTALLATION.
7. NATURAL GAS SUPPLY THROUGH 3/4" CORRUGATED ALUMINUM LINE; MUST BE GROUNDED PER MANUFACTURER'S RECOMMENDATION.
8. BRAKE METAL ENCLOSURE TO SECURE AND PROTECT CHASE; FASTEN TO SUBFLOOR ABOVE.
9. 1-1/2" PVC VENT LINE FROM FIXTURES TO TERMINATE THROUGH ROOF, MAINTAINING ADEQUATE SLOPE FOR PROPER VENTING.
10. ALL PIPE SLOPES AND DRAINAGE TO BE IN ACCORDANCE WITH NYS PLUMBING CODE REQUIREMENTS.
11. INSTALL 3/4" PVC FOAM BOARD BOX, FIELD FABRICATED, TO ENSURE INSULATION INTEGRITY.
12. PROVIDE PROPER VENTING FOR ALL PLUMBING FIXTURES PER NYS PLUMBING CODE.
13. ENSURE ADEQUATE DRAIN SLOPE FOR ALL PIPING TO PREVENT WATER STANDING IN PIPES.
14. ALL CONNECTIONS AND JOINTS WITHIN THE CHASE TO BE SEALED AND TESTED FOR LEAKS PRIOR TO FINALIZING INSTALLATION.
15. INSPECT AND TEST ALL GAS LINES FOR LEAKS PRIOR TO FINAL CONNECTIONS.
16. ENSURE ADEQUATE CLEARANCES AND PROTECTION FOR PIPES CROSSING ELECTRICAL OR OTHER SERVICES.
17. ALWAYS REFER TO NYS PLUMBING CODE FOR ANY SITUATIONS NOT SPECIFICALLY DETAILED IN THIS SET.

FIXTURE LOAD SCHEDULE				
NO.	FIXTURE TYPE	FIXTURE UNITS	QUANTITY	TOTAL UNITS
1	KITCHEN SINK & FAUCET	1.5	1	1.5
2	BATHROOM VANITY SINK & FAUCET	1	1	1
3	TOILET (WC)	3	1	3
4	SHOWER	2	1	2
TOTAL				7.5

INSTALL FIBERGLASS PIPE INSULATION AFTER HEAT TRACE CABLE (NOT SHOWN)

3/4" CORRUGATED ALUMINUM NATURAL GAS LINE GROUNDED PER MFR'S RECOMMENDATION.

2 PLY 2" RIGID INSULATION, TYP.



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**PLUMBING CHASE DETAIL**



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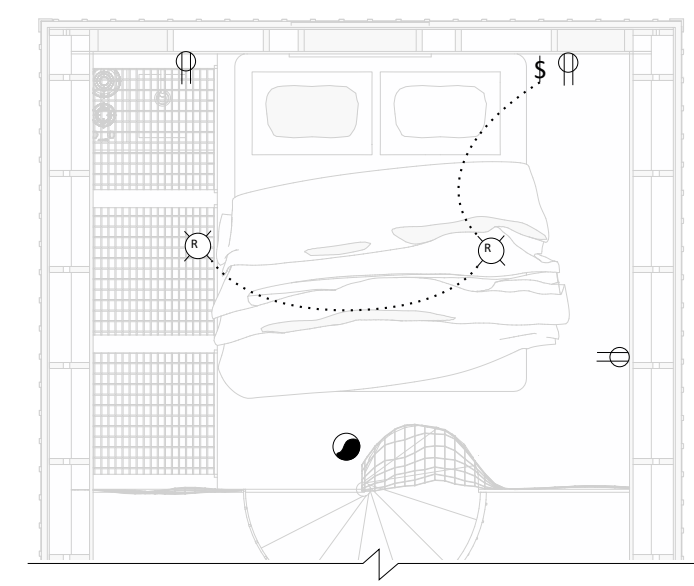
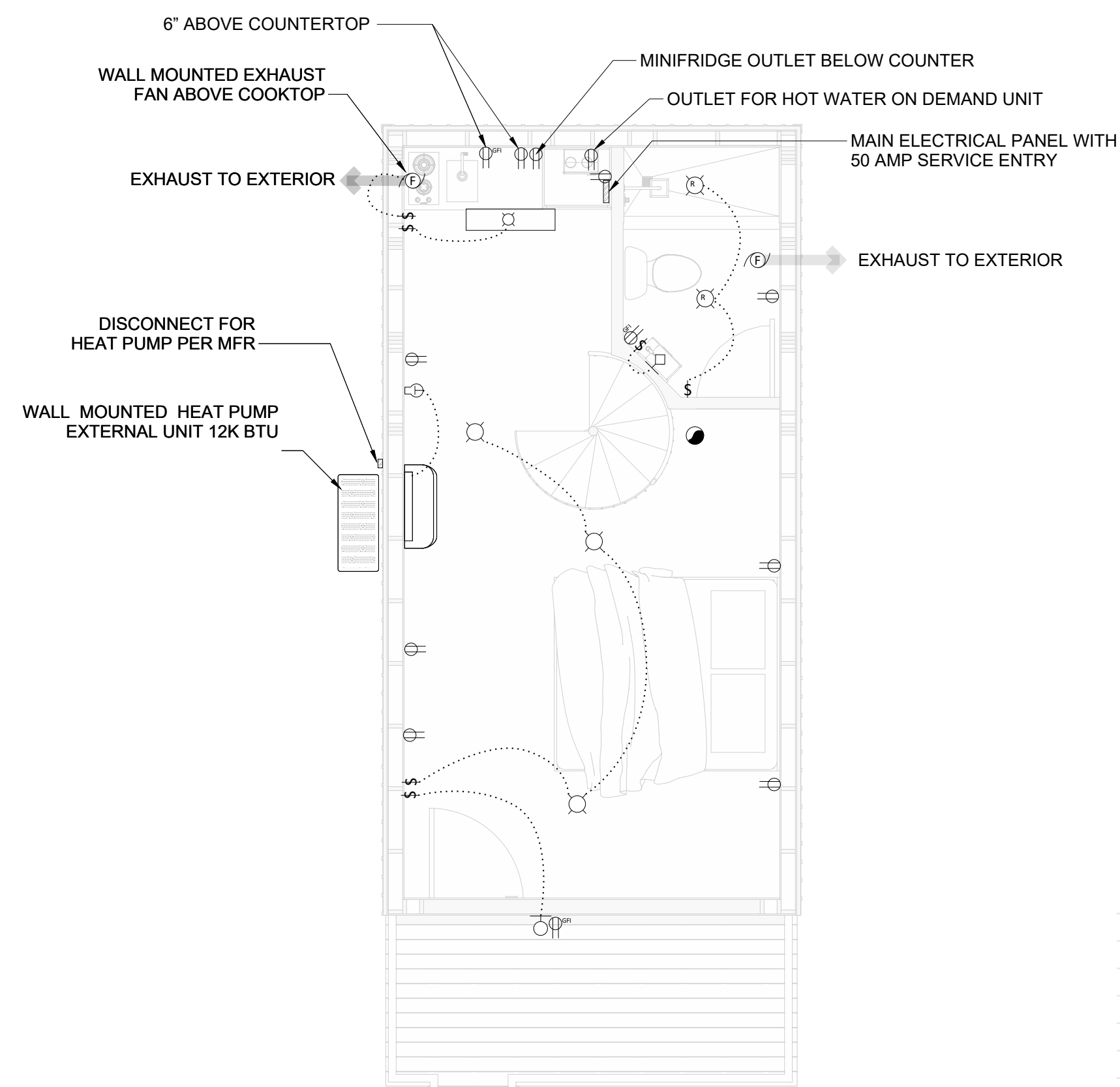
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ELECTRICAL PLANS &  
SCHEDULES

A.12



**2 LOFT ELECTRICAL PLAN** SCALE: 1/4" = 1'-0"

CIRCUIT SCHEDULE					
CB	LOCATION	AMPERE RATING	TOTAL WATTS	DF	ADJ. WATTS
1	KITCHENETTE	20	665	0.7	466
2	BATHROOM	20	1,878	0.5	939
3	BEDROOM	15	259	0.5	130
4	HVAC	15	850	1	850
5	HEAT TRACE CABLE	15	350	0.6	210
6	LEAVE EMPTY	NA	NA	-	NA
TOTAL			4,002		2,594

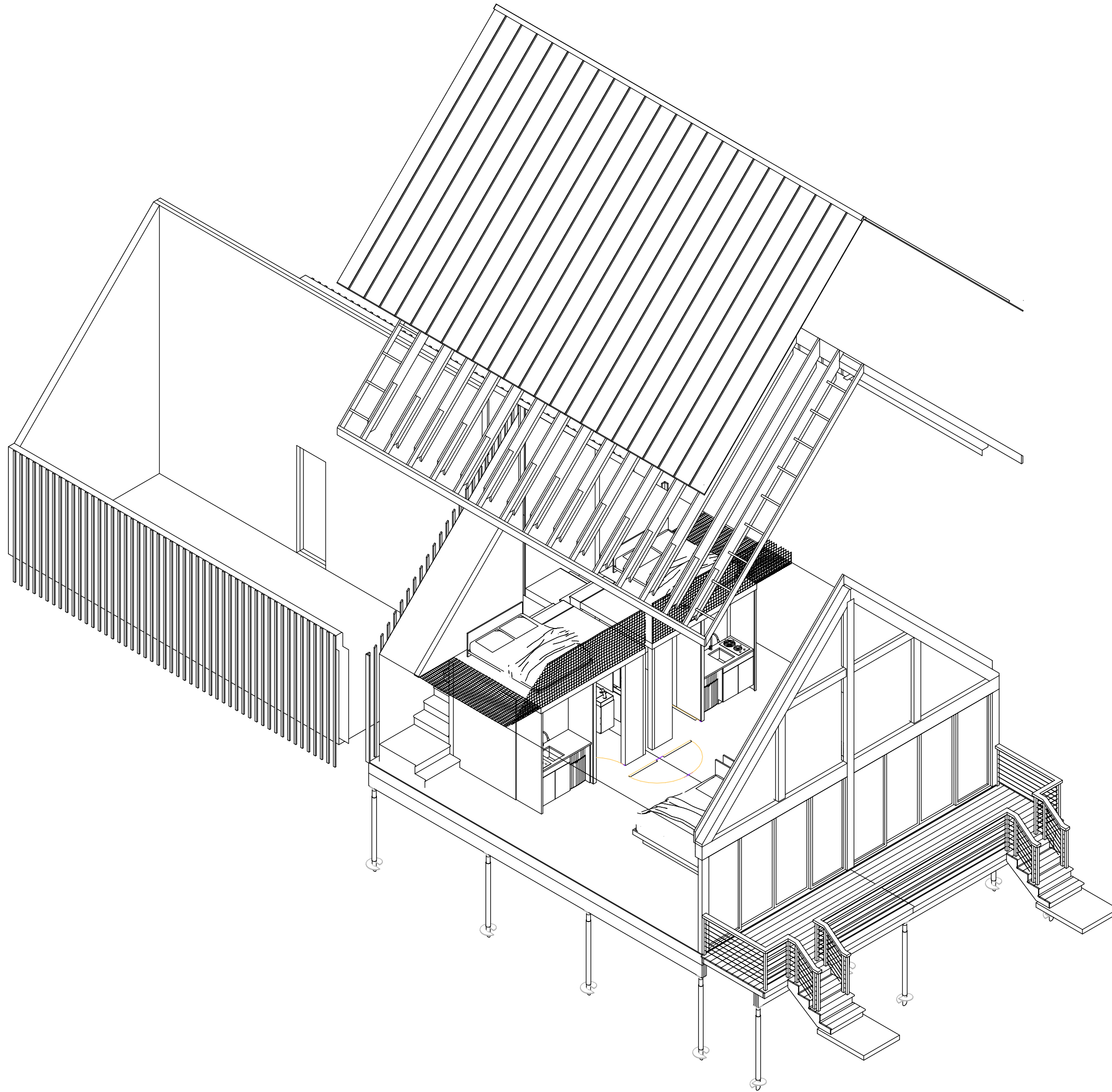
LOAD SCHEDULE					
LOCATION	DESCRIPTION	LOAD	QTY	TOTAL WATTS	CB
KITCHENETTE	RECEPTACLES	180 W (AVG)	2	360 W	1
	MINI FRIDGE	150 W	1	150 W	1
	LIGHT FIXTURE	15 W	1	15 W	1
LOFT	RECEPTACLES	30 W (AVG)	3	90 W	3
FLOOR SYSTEM	HEAT TRACE CABLE	7 W	50	350 W	5
	6" LED DOWNLIGHT	15 W	1	30 W	3
	BATHROOM 6" LED DOWNLIGHT	15 W	2	30 W	2
	VANITY LIGHT	18 W	1	18 W	2
	EXHAUST FAN	30 W	1	30 W	2
UTILITY CLOSET	RECEPTACLES	900 W (AVG/MAX)	2	1800 W	2
	HOT WATER ON DEMAND RECEPTACLE	120 W	1	120 W	1
	UTILITY RECEPTACLE	20 W	1	20 W	1
BEDROOM	EXTERIOR WALL SCNCE	18 W	1	18 W	3
	EXTERIOR RECEPTACLE	100 (AVG)	1	100 W	3
	PENDANT LIGHTS	7 W	3	21 W	3
HVAC	12K BTU HEAT PUMP MINI-SPLIT	850 W	1	850 W	4

**3 ELECTRICAL SCHEDULES** N.T.S.

**1 FIRST FLOOR ELECTRICAL PLAN** SCALE: 1/4" = 1'-0"

**ELECTRICAL LEGEND**

\$ SWITCH	⊠ UTILITY LIGHT	⊖ RANGE/DRYER OUTLET
\$₃ THREE WAY SWITCH	⊠ 4 FT LIGHT	⊖ <sup>DW</sup> DISHWASHER OUTLET
\$ <sub>DM</sub> DIMMER SWITCH	⊖ EXT. WALL MOUNTED LIGHT	⊖ <sup>R</sup> REFRIGERATOR OUTLET
\$ <sub>occ</sub> OCCUPANCY SEN SOR	⊖ INT. WALL SCNCE	⊖ <sup>W</sup> WASHER OUTLET
☉ CO/SMOKE DETECTOR	⊖ EXHAUST FAN	⊖ <sup>RFI</sup> GFI OUTLET
⊖ RECESSED LIGHT	⊖ CEILING FAN	⊖ SINGLE DUPLEX OUTLET
⊖ FLUSH MOUNTED LIGHT		⊖ THERMOSTAT



**TYPICAL DOUBLE UNIT - GENERAL NOTES**

UNIT DIMENSIONS

EACH DOUBLE UNIT MEASURES EXTERNALLY AT 25'-9" IN WIDTH AND 28'-10 1/2" IN LENGTH, WITH AN APPROXIMATE FOOTPRINT OF 742 SF. MAXIMUM HEIGHT SHALL NOT EXCEED 25'.

CONSTRUCTION

DESIGNED IN COMPLIANCE WITH THE 2018 IRC STANDARDS.

PARTY WALL

THE PARTY WALL SEPARATING THE TWO ADJOINING SUITES SHALL BE CONSTRUCTED AS A 1-HOUR FIRE-RATED ASSEMBLY, EXTENDING CONTINUOUSLY FROM THE FOUNDATION TO OR THROUGH THE ROOF.

ENERGY CODE

COMPLIANCE WITH THE 2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) IS STRICTLY MAINTAINED FOR ALL DOUBLE UNITS.

UTILITIES

EACH SUITE WITHIN THE UNIT FEATURES A UTILITY CHASE OR CLOSET, WHICH HOUSES A HOT WATER ON-DEMAND UNIT AND A 50-AMP ELECTRICAL PANEL.

HVAC

A 12K BTU HEAT PUMP SYSTEM IS INSTALLED IN EACH SUITE TO PROVIDE BOTH HEATING AND AIR CONDITIONING.

AMENITIES

SUITES ARE EQUIPPED WITH A SLEEPING AREA, A LOFT SPACE WITH AN ADDITIONAL BED, A BATHROOM, AND A KITCHENETTE.

SEPARATION

A MINIMUM OF 10-FOOT SEPARATION IS MAINTAINED BETWEEN EACH DOUBLE UNIT AND ADJACENT BUILDINGS ON THE PROPERTY.

USAGE

THESE UNITS ARE DESIGNED FOR BOTH SHORT-TERM AND LONG-TERM OCCUPANCY.



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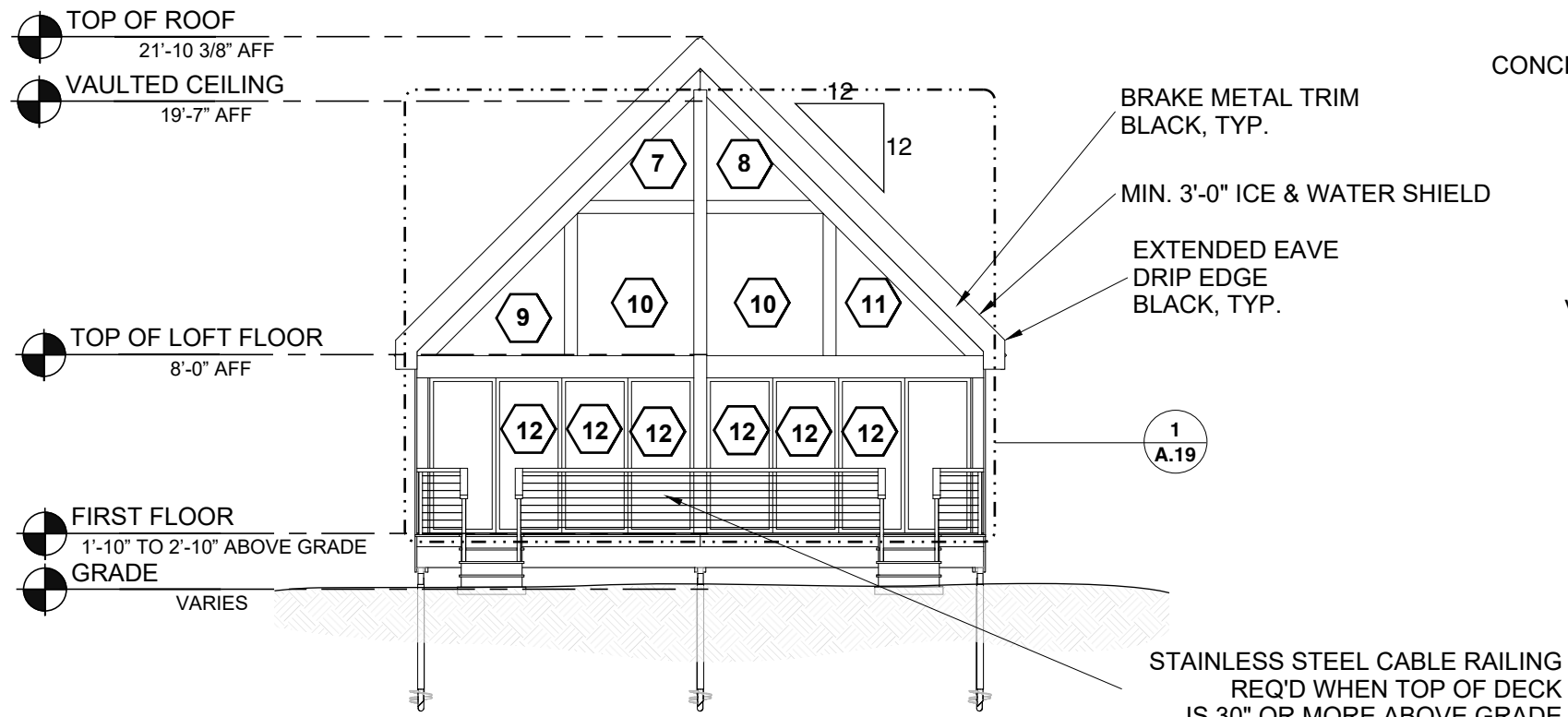
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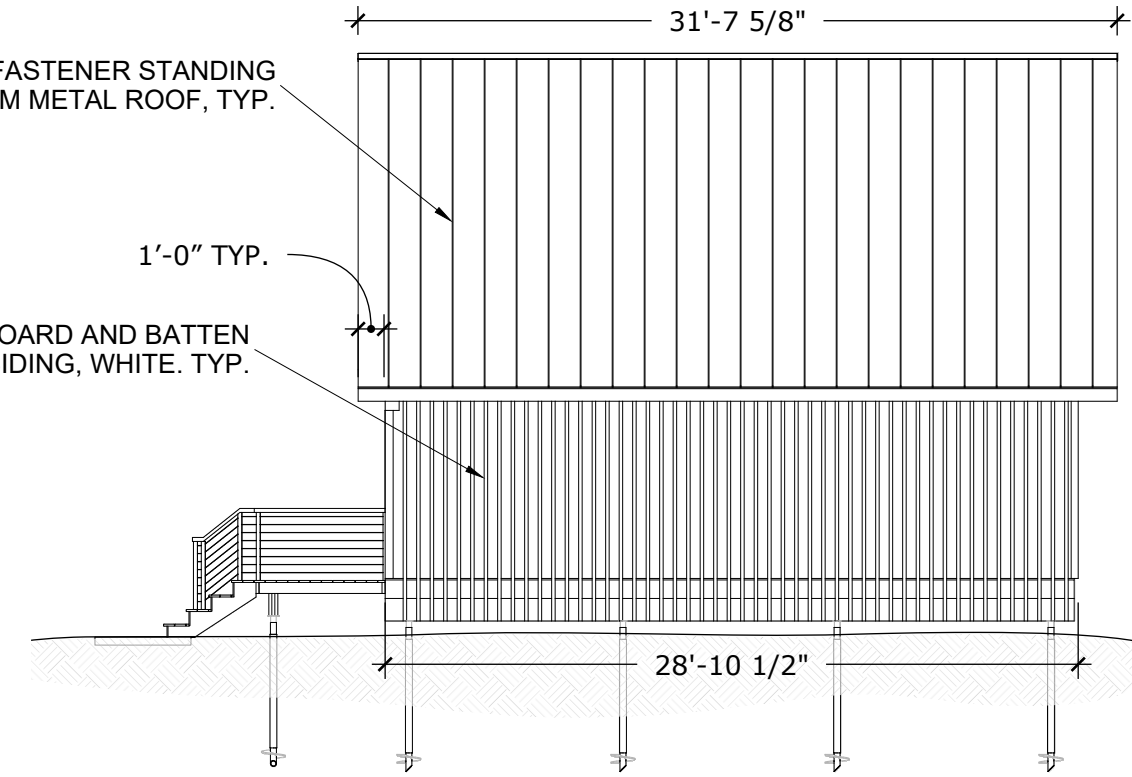
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DBL GENERAL  
NOTES

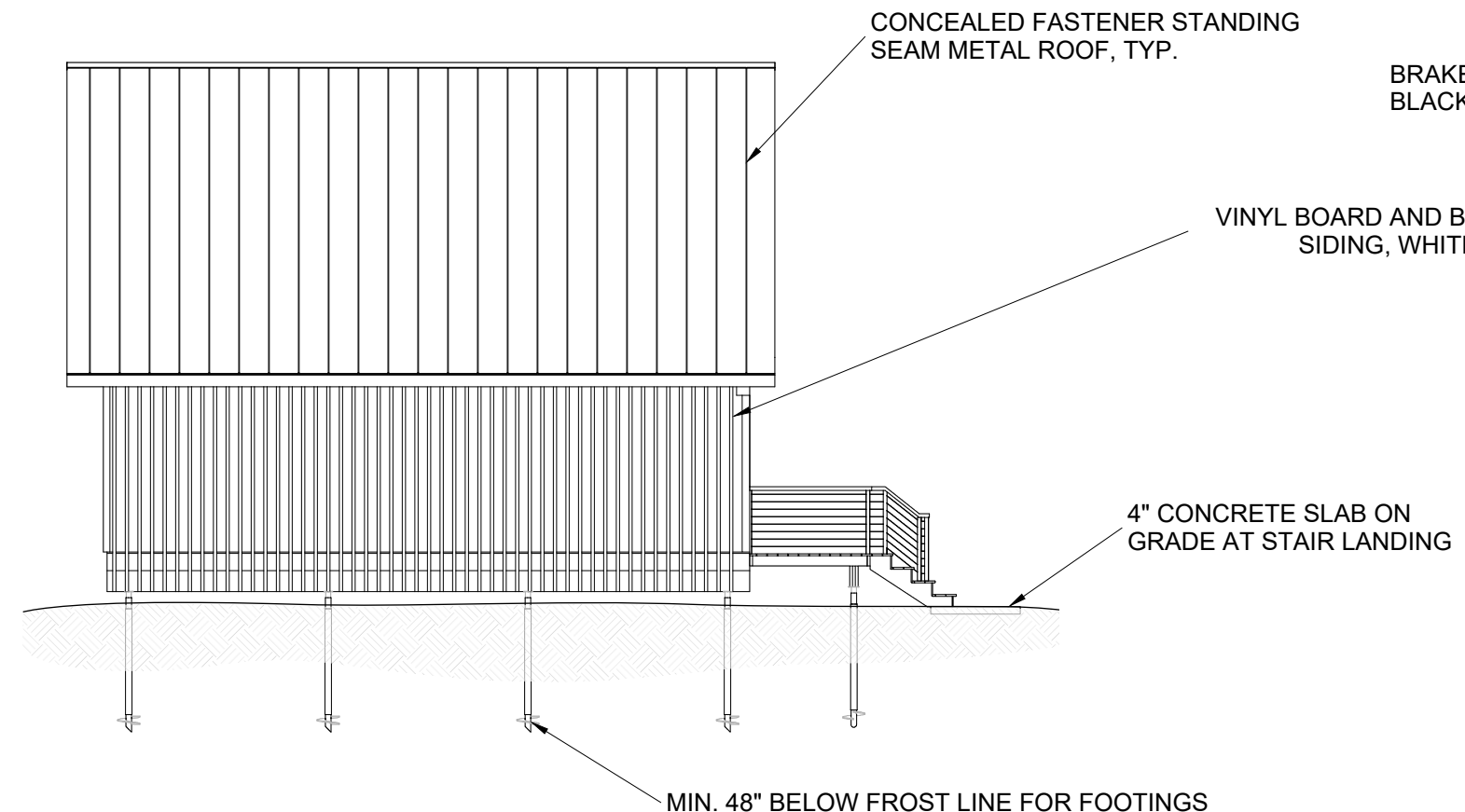
HEIGHT OF STRUCTURES ABOVE GRADE MAY VARY  
BETWEEN 23'-8 3/8" AND 24'-8 3/8" ABOVE GRADE



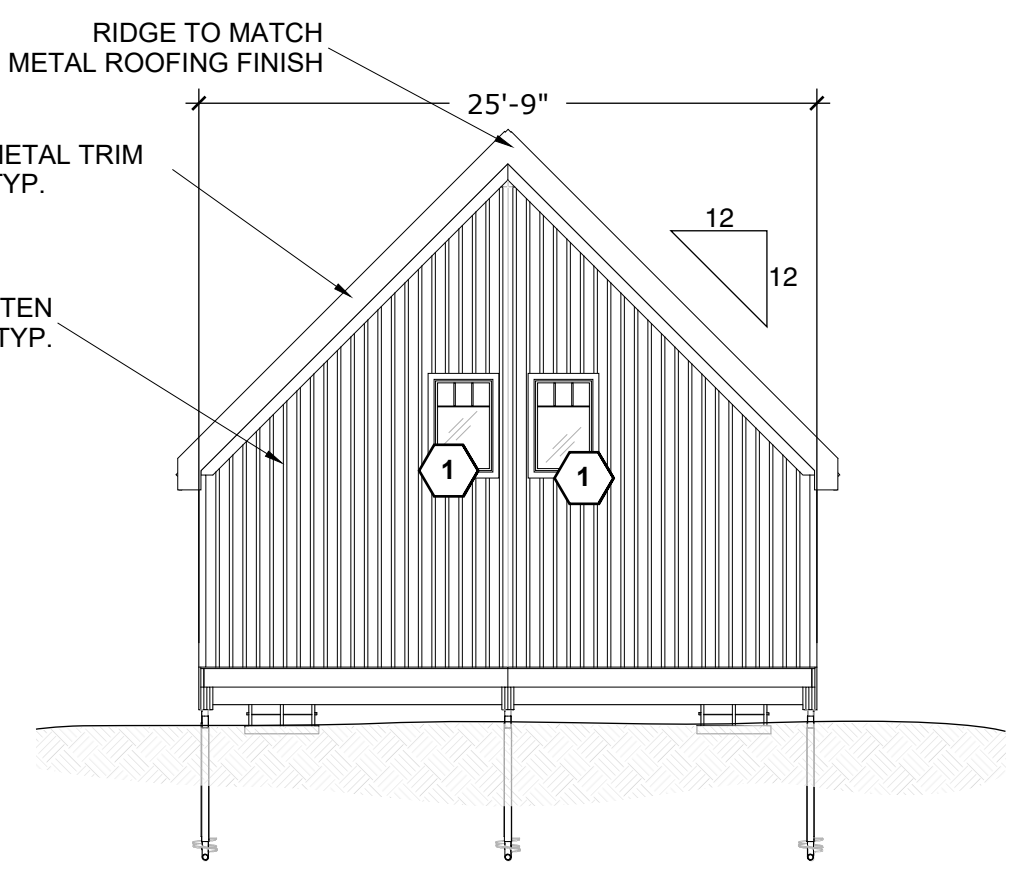
**1 NORTH ELEVATION** SCALE: 1/8" = 1'-0"



**2 WEST ELEVATION** SCALE: 1/8" = 1'-0"



**3 EAST ELEVATION** SCALE: 1/8" = 1'-0"



**4 SOUTH ELEVATION** SCALE: 1/8" = 1'-0"



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DBL ELEVATIONS



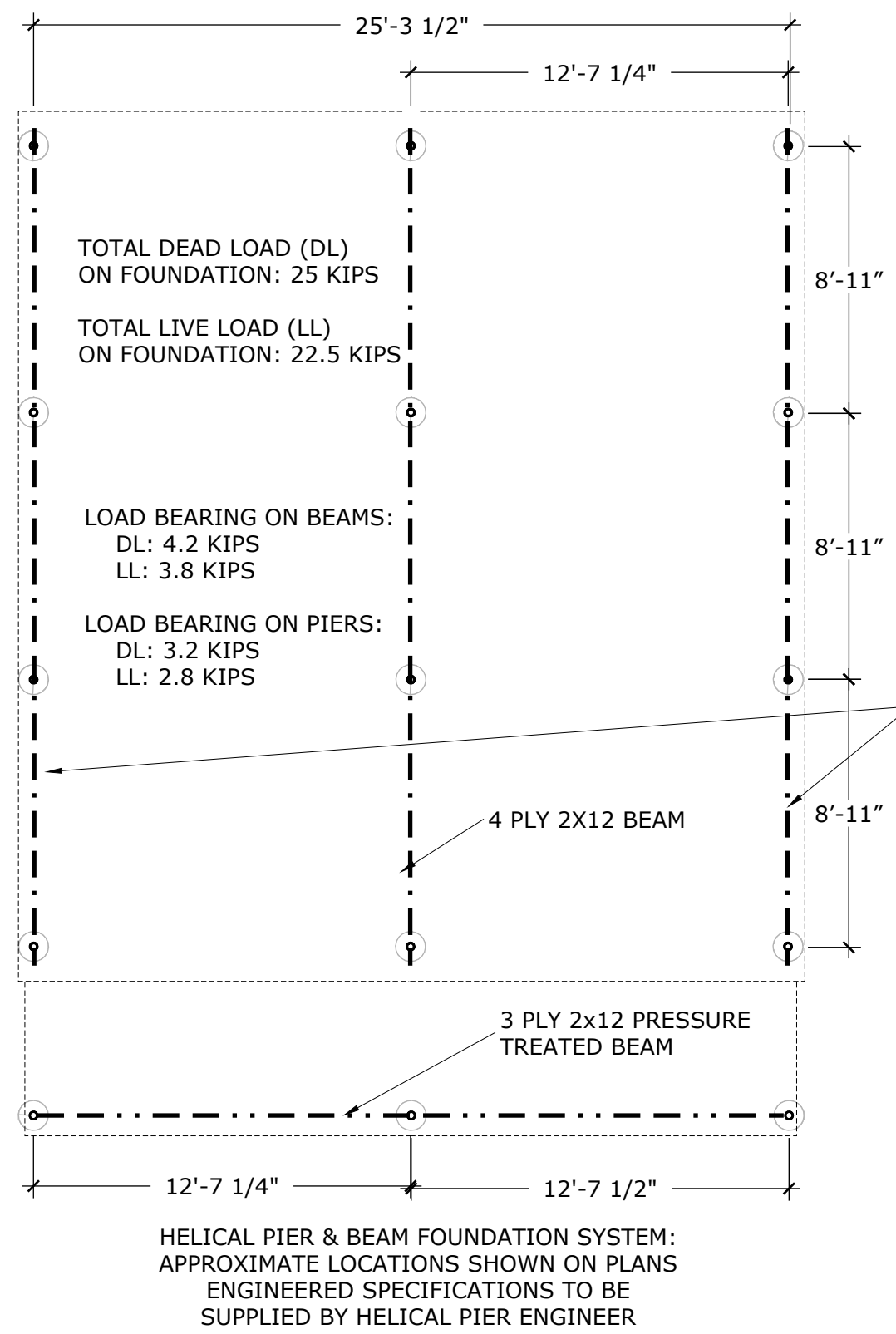
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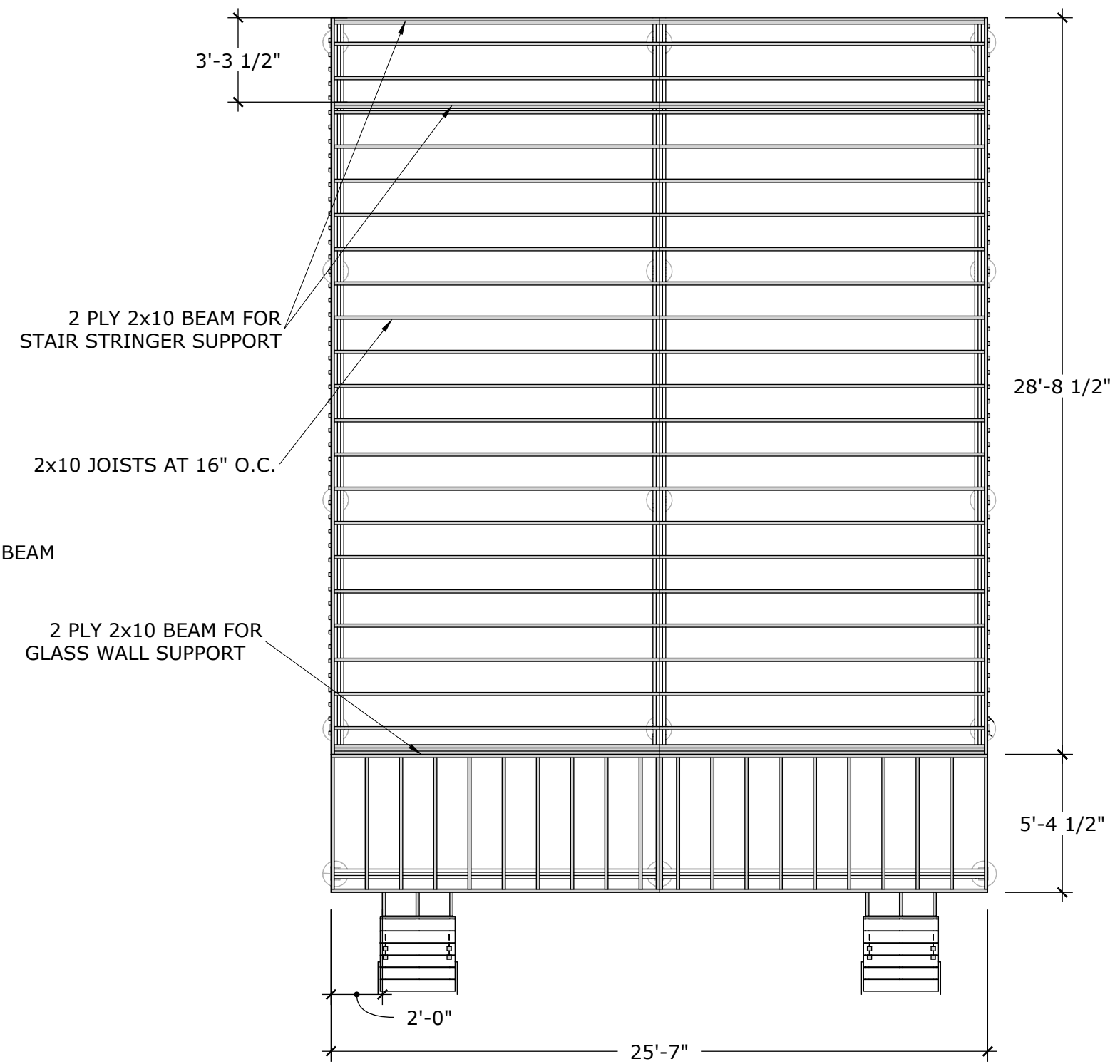
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**DBL  
 FOUNDATION &  
 FRAMING PLAN**



**1 FOUNDATION PLAN** SCALE: 3/16" = 1'-0"



**2 FIRST FLOOR FRAMING PLAN** SCALE: 3/16" = 1'-0"



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**DBL FIRST FLOOR PLAN**

**A.16**

120K BTU TAKAGI CONDENSING NG HOT WATER ON DEMAND UNIT  
INSTALLED PER MFR INSTRUCTIONS  
VENT TO OUTSIDE

ELECTRICAL PANEL LOCATION  
INDICATED, INSTALL PER  
NEC REQUIREMENTS

CONCEALED ACCESS PANEL  
UTILITY CABINET FOR MECHANICALS

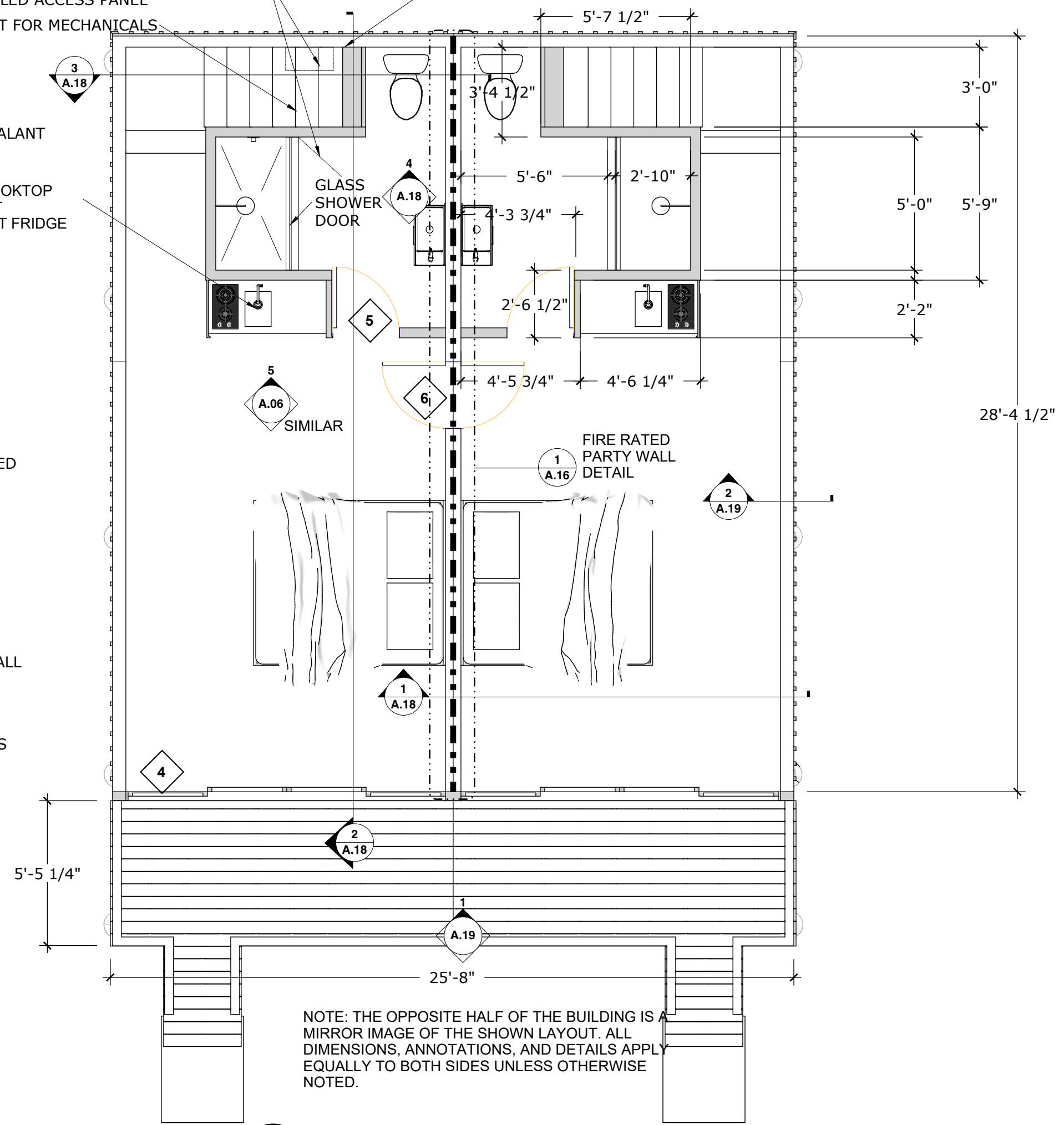
EXTEND 5/8" GWB TO  
UNDERSIDE OF SHEATHING,  
SEAL EDGE WITH FIRESTOP SEALANT

KITCHENETTE  
12k BTU NG COOKTOP  
SINK & FAUCET  
UNDERCABINET FRIDGE

TYPE X 5/8" GWB  
2X6 STUD 16" O.C.  
R-19 BATT INSULATION  
1/2" RC-1 RESILIENT CHANNEL  
TYPE X 5/8" GWB  
\*ALL PENETRATIONS TO BE SEALED  
WITH FIRESTOP SEALANT

WHERE STAIR STRINGER MEETS  
PARTY WALL, SUBSTITUTE RC-1  
PLYWOOD BACKING. TRIM DRYWALL  
AT THIS INTERFACE AND APPLY  
FIRESTOP SEALANT TO EDGES.

PROVIDE CONTINUOUS DRAFT  
STOP BLOCKING BETWEEN JOISTS  
ALONG ENTIRE LENGTH OF  
PARTY WALL.



LOFT FLOOR

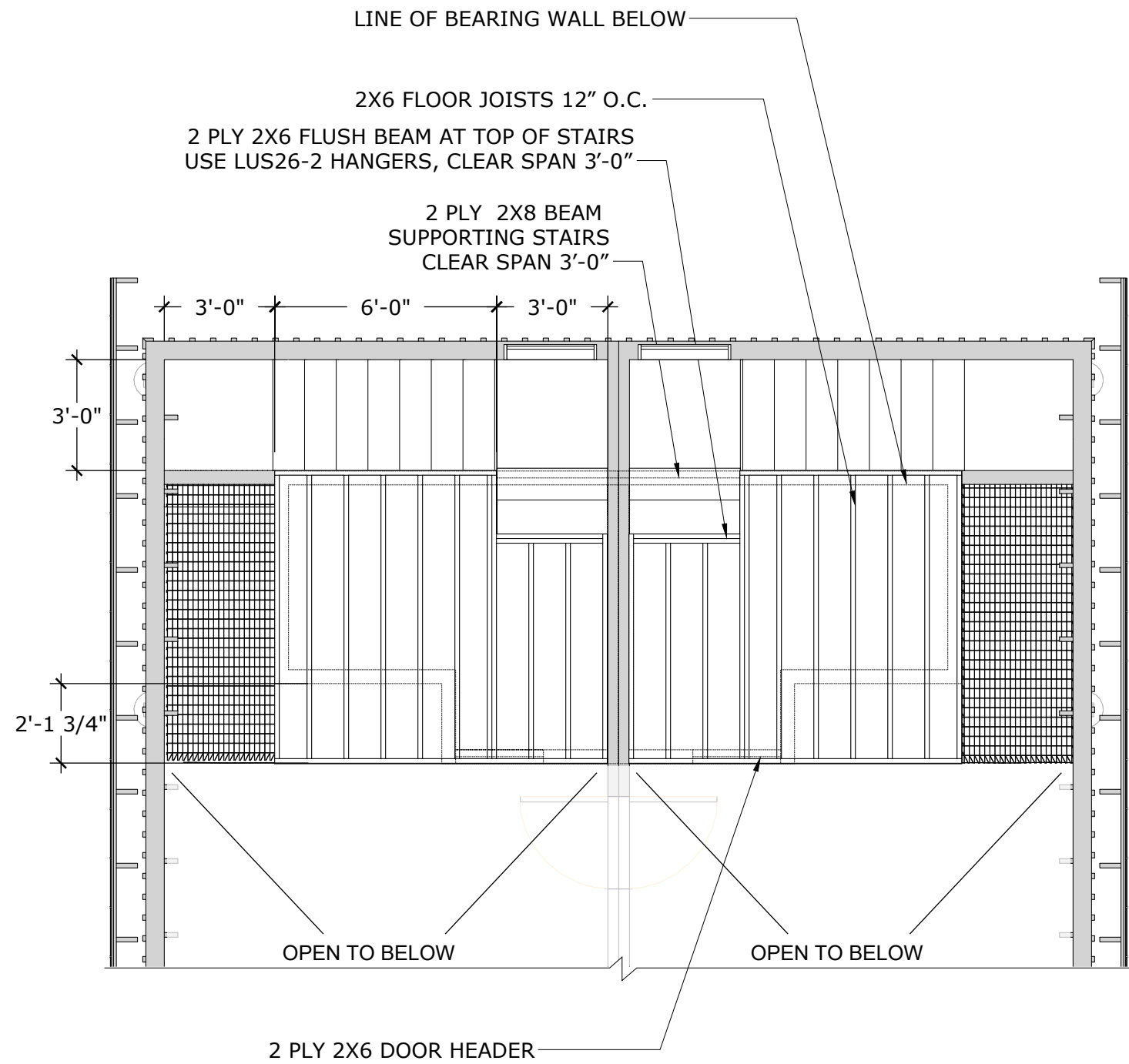
STAIRS TO LOFT

**1** 1HR FIRE RATED PARTY WALL N.T.S.

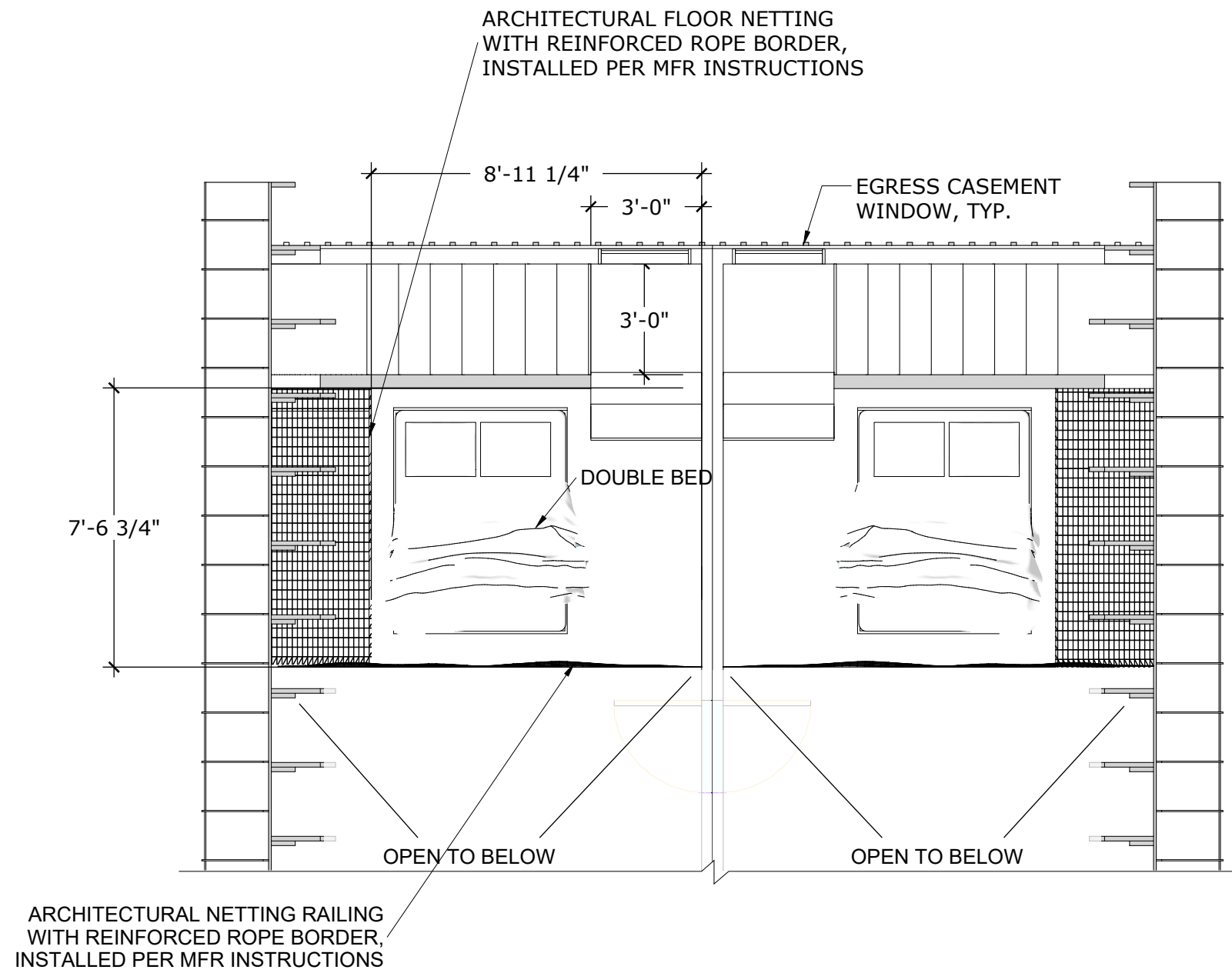
**2** FIRST FLOOR PLAN SCALE: 1/4" = 1'-0"

NOTE: THE OPPOSITE HALF OF THE BUILDING IS A MIRROR IMAGE OF THE SHOWN LAYOUT. ALL DIMENSIONS, ANNOTATIONS, AND DETAILS APPLY EQUALLY TO BOTH SIDES UNLESS OTHERWISE NOTED.





**1** LOFT FLOOR FRAMING PLAN SCALE: 1/4" = 1'-0"



**2** LOFT FLOOR PLAN SCALE: 1/4" = 1'-0"

NOTE: THE OPPOSITE HALF OF THE BUILDING IS A MIRROR IMAGE OF THE SHOWN LAYOUT. ALL DIMENSIONS, ANNOTATIONS, AND DETAILS APPLY EQUALLY TO BOTH SIDES UNLESS OTHERWISE NOTED.

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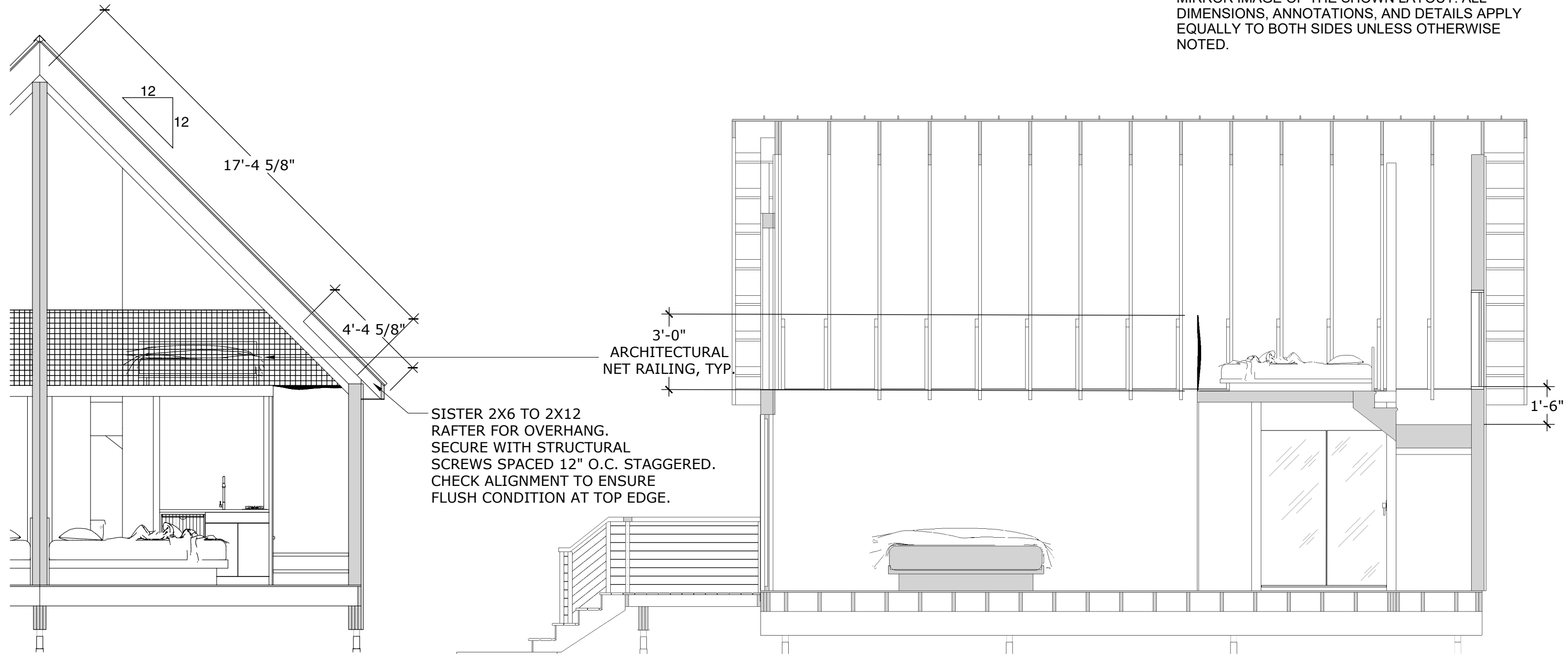
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DBL LOFT PLAN

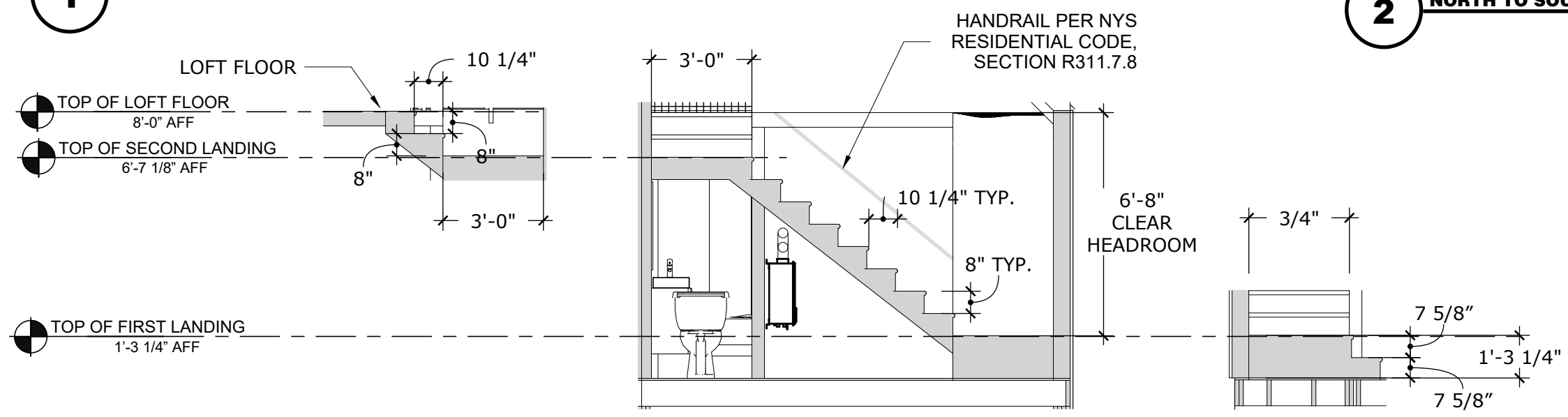


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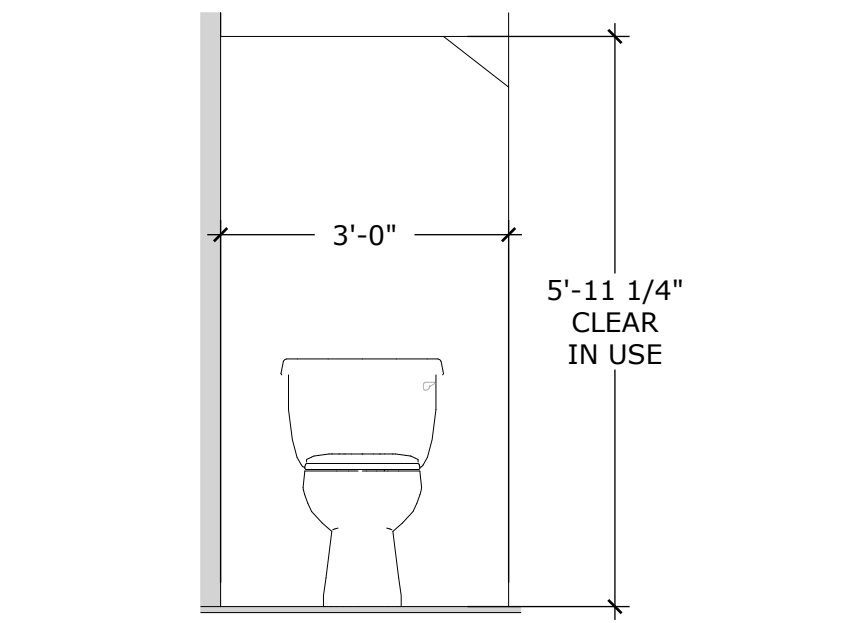


**1 EAST TO WEST SECTION** SCALE: 1/4" = 1'-0"

**2 NORTH TO SOUTH SECTION** SCALE: 1/4" = 1'-0"



**3 STAIR DETAIL** SCALE: 1/4" = 1'-0"



**4 TOILET ELEVATION** SCALE: 1/2" = 1'-0"

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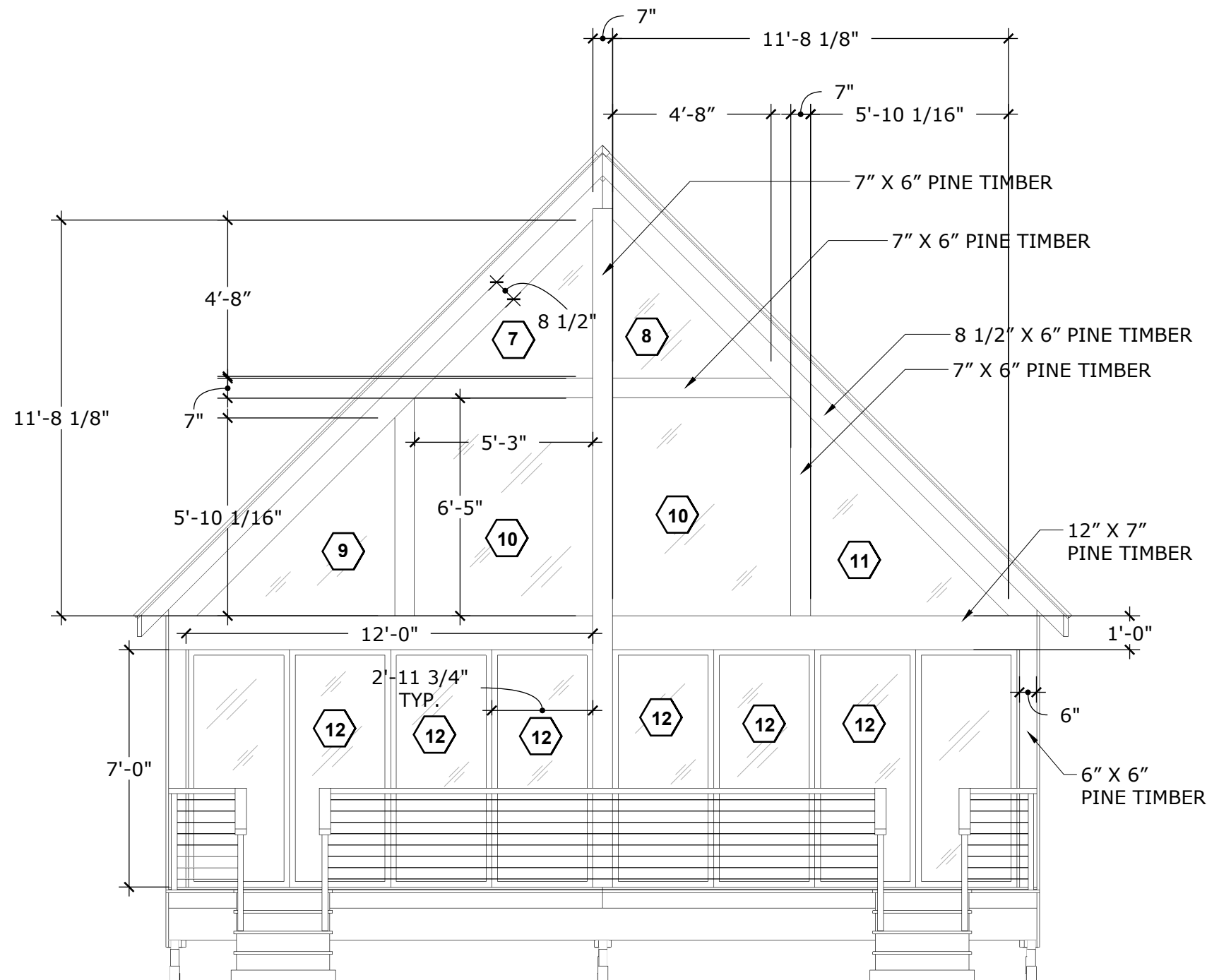
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DBL SECTIONS &  
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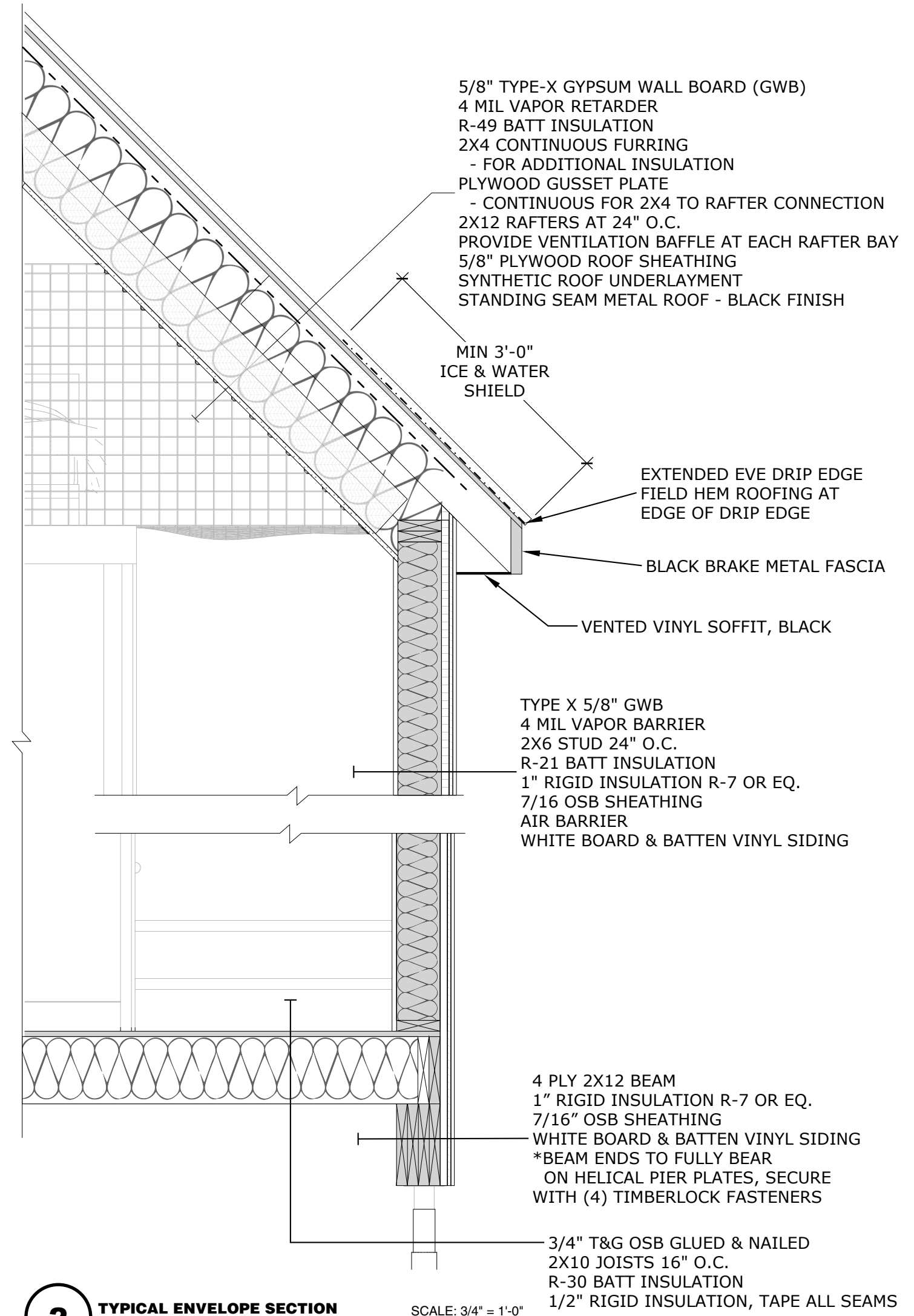
**RAFTER FRAMING GENERAL NOTES**

1. REFER TO DETAIL 3 ON PAGE A.14 FOR SIMILAR FRAMING DETAIL.
2. REFER TO DETAIL 4 ON PAGE A.14 FOR SIMILAR RAFTER ANCHOR DETAIL.
3. ALL FRAMING LUMBER TO BE SPF (SPRUCE-PINE-FIR) UNLESS NOTED OTHERWISE.
4. ENSURE PROPER ANCHORING AND BRACING OF RAFTERS AS PER CODE.
5. PROVIDE ADEQUATE VENTILATION IN RAFTER BAYS TO PREVENT MOISTURE ACCUMULATION.
6. USE GALVANIZED FASTENERS FOR ALL EXTERIOR CONNECTIONS.
7. CHECK ALIGNMENT AND LEVELNESS OF ALL FRAMING BEFORE APPLYING SHEATHING OR FINISHES.
8. SEAL ALL PENETRATIONS AND JOINTS TO ENSURE WEATHER TIGHTNESS.
9. ALL FRAMING TO COMPLY WITH NYS BUILDING CODE AND RELEVANT STANDARDS.



**1 GLASS WALL ELEVATION** SCALE: 1/4" = 1'-0"

NOTE: THE OPPOSITE HALF OF THE BUILDING IS A MIRROR IMAGE OF THE SHOWN LAYOUT. ALL DIMENSIONS, ANNOTATIONS, AND DETAILS APPLY EQUALLY TO BOTH SIDES UNLESS OTHERWISE NOTED.



**2 TYPICAL ENVELOPE SECTION** SCALE: 3/4" = 1'-0"



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**ISSUE** 10.02.2023  
**DRAWN BY** Jamie Gagné

**DBL WINDOW & ENVELOPE DETAILS**

WINDOW SCHEDULE													
REFERENCE		DETAILS				OPENING SPECIFICATIONS							NOTES
NO.	ROOM	QTY	MANUFACTURE	MODEL/TYPE	UNIT STOCK NO	R.O. WIDTH	R.O. HEIGHT	GLASS SF	VENT SF	EGRESS SF	C.O. WIDTH	C.O. HEIGHT	
7	GABLE TOP	1	TBD	PICTURE	TBD	4' - 8"	4' - 8"	18.78	-	-	-	-	TRIANGLE WINDOW
8	GABLE TOP	1	TBD	PICTURE	TBD	4' - 8"	4' - 8"	18.78	-	-	-	-	TRIANGLE WINDOW
9	GABLE	1	TBD	PICTURE	TBD	5' - 10"	5' - 10"	30.25	-	-	-	-	TRIANGLE WINDOW
10	GABLE	2	TBD	PICTURE	TBD	5' - 3"	6' - 5"	29.91	-	-	-	-	-
11	GABLE	1	TBD	PICTURE	TBD	5' - 10"	5' - 10"	30.25	-	-	-	-	TRIANGLE WINDOW
12	BEDROOM	6	TBD	PICTURE	TBD	2' - 11 3/4"	7'-0"	17.64	-	-	-	-	-
1	LOFT	1	JELD-WEN	CASEMENT	PREM. VINYL	2' - 4"	3' - 9"	5.8	5.752	5.752	1' - 8 3/4"	3' - 3 7/8"	EGRESS WINDOW (SAME AS SGL UNIT "1" WINDOW)

DOOR SCHEDULE																
OPENING		DOOR						FRAME			DETAILS			RATING	COMMENTS	WALL TYPE
NO.	ROOM SERVED	WIDTH	HEIGHT	THICKNESS	TYPE	MATERIAL	FINISH	TYPE	MATERIAL	FINISH	HEAD	JAMB	SILL			
4	BEDROOM	3' - 0"	6' - 8"	0' - 1 3/4"	1 LITE	WD/GLASS	PTD	-	WD	PTD	-	-	-	N/A	EGRESS	EXTERIOR
5	BATHROOM	2' - 8"	6' - 8"	0' - 1 3/4"	6 PANEL	WOOD	PTD	-	WD	PTD	-	-	-	N/A		INTERIOR
6	ADJOINING SUITE	3' - 0"	6' - 8"	0' - 1 3/4"	6 PANEL	MTL	PTD	-	WD	PTD	-	-	-	1 HR	LOCKSET	PARTY WALL

NATURAL LIGHT, VENTILATION & EMERGENCY EGRESS REQUIREMENTS					
NO.	ROOM	AREA SF	REQ. LIGHT 8%	REQ. VENT 4%	REQ EGRESS
1	BEDROOM	204 SF	16.32 SF	8.16 SF	5.7 SF
2	BATHROOM	63 SF	5.04 SF	2.52 SF	-
3					

**1** ARCHITECTURAL SCHEDULES N.T.S.

CIRCUIT SCHEDULE					
CB	LOCATION	AMPERE RATING	TOTAL WATTS	DF	ADJ. WATTS
1	KITCHENETTE	20	665	0.7	466
2	BATHROOM	20	1,878	0.5	939
3	BEDROOM	15	259	0.5	130
4	HVAC	15	850	1	850
5	HEAT TRACE CABLE	15	350	0.6	210
6	LEAVE EMPTY	NA	NA	-	NA
TOTAL			4,002		2,594

**2** ELECTRICAL SCHEDULES N.T.S.

LOAD SCHEDULE					
LOCATION	DESCRIPTION	LOAD	QTY	TOTAL WATTS	CB
KITCHENETTE	RECEPTACLES	180 W (AVG)	2	360 W	1
	MINI FRIDGE	150 W	1	150 W	1
	LIGHT FIXTURE	15 W	1	15 W	1
LOFT	RECEPTACLES	30 W (AVG)	3	90 W	3
	FLOOR SYSTEM	HEAT TRACE CABLE	7 W	50	350 W
BATHROOM	6" LED DOWNLIGHT	15 W	1	30 W	3
	6" LED DOWNLIGHT	15 W	2	30 W	2
	VANITY LIGHT	18 W	1	18 W	2
	EXHAUST FAN	30 W	1	30 W	2
	RECEPTACLES	900 W (AVG/MAX)	2	1800 W	2
UTILITY CLOSET	HOT WATER ON DEMAND RECEPTACLE	120 W	1	120 W	1
	UTILITY RECEPTACLE	20 W	1	20 W	1
BEDROOM	EXTERIOR WALL SCONCE	18 W	1	18 W	3
	EXTERIOR RECEPTACLE	100 (AVG)	1	100 W	3
	PENDANT LIGHTS	7 W	3	21 W	3
HVAC	12K BTU HEAT PUMP MINI-SPLIT	850 W	1	850 W	4



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DBL SCHEDULES



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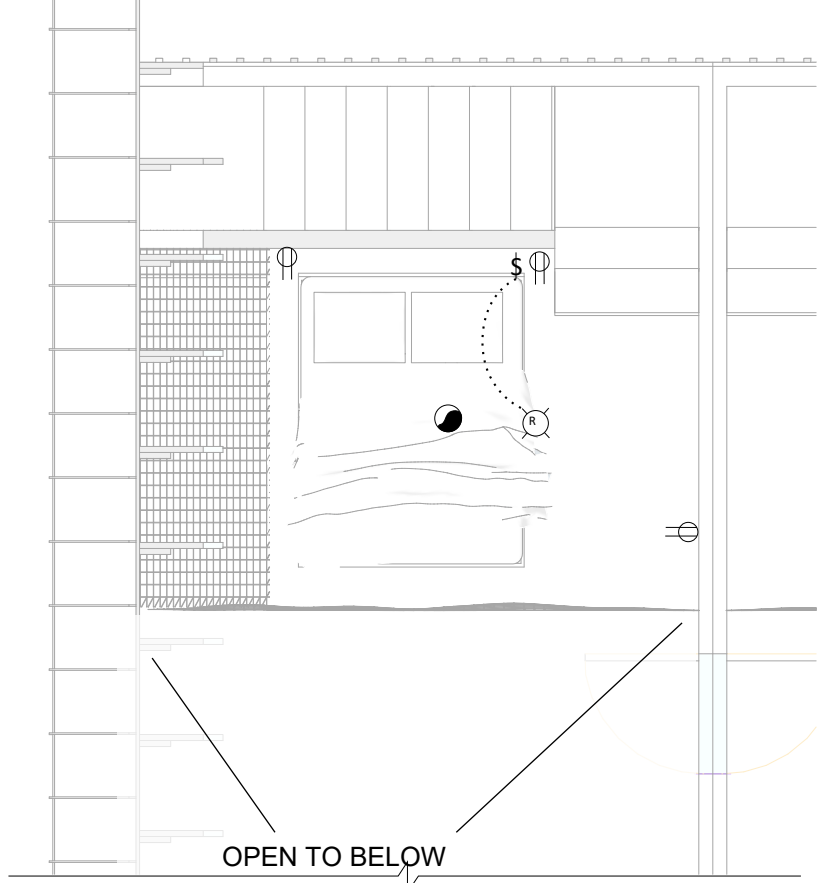
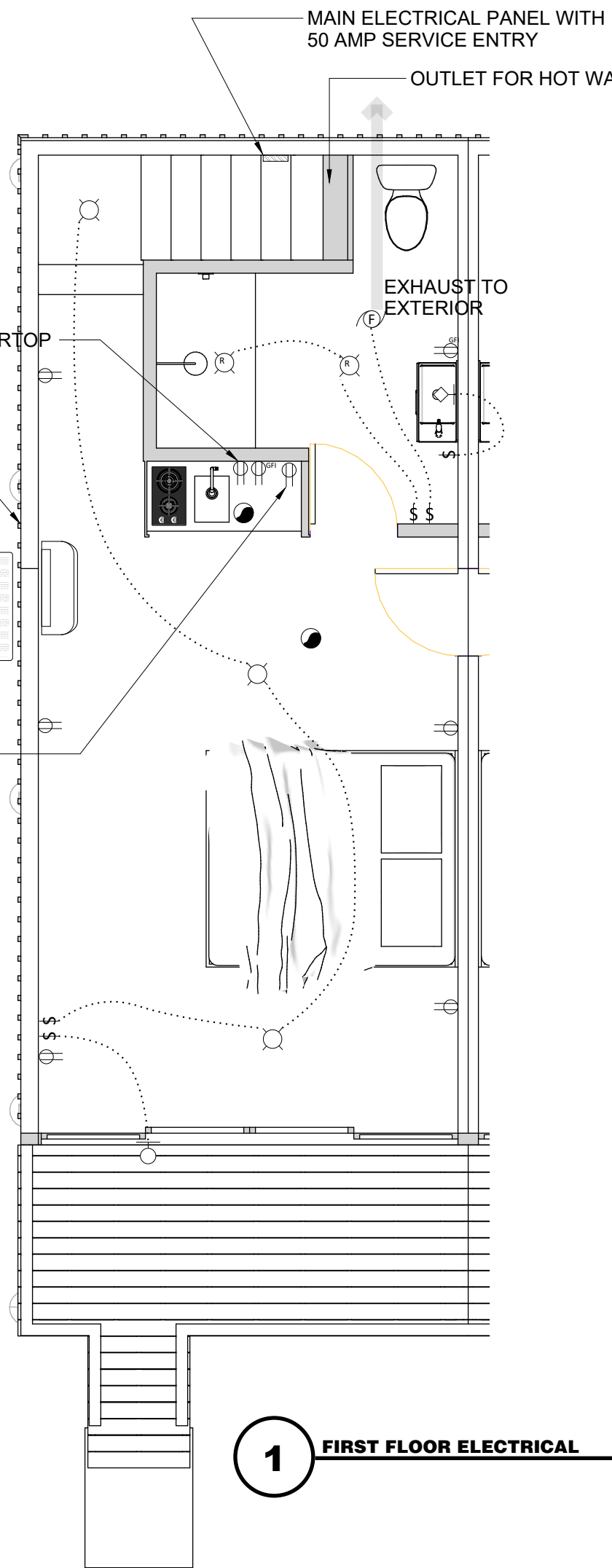
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**DBL ELECTRICAL**

**A.21**

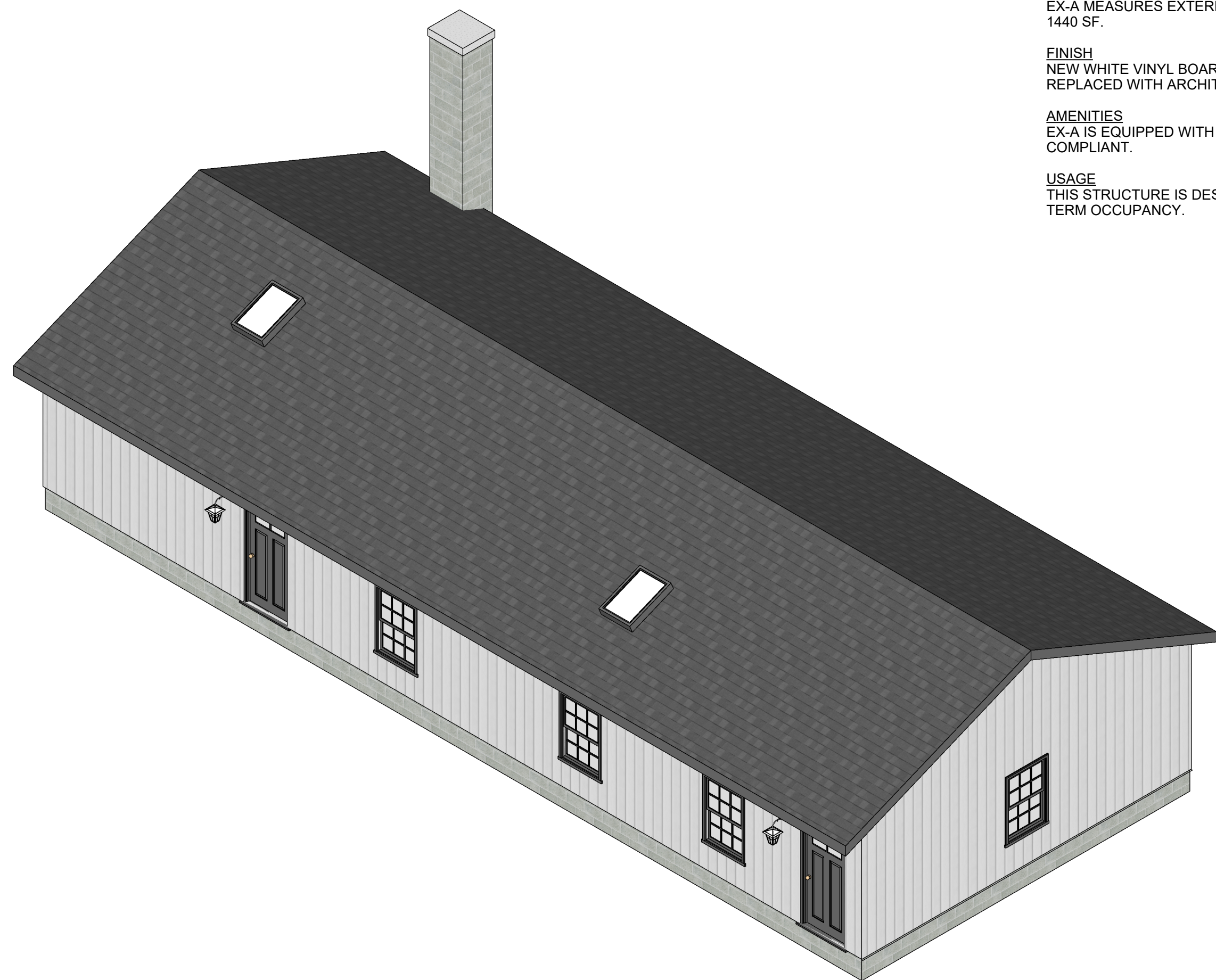


**2 LOFT ELECTRICAL** N.T.S.

**1 FIRST FLOOR ELECTRICAL** N.T.S.

NOTE: THE OPPOSITE HALF OF THE BUILDING IS A MIRROR IMAGE OF THE SHOWN LAYOUT. ALL DIMENSIONS, ANNOTATIONS, AND DETAILS APPLY EQUALLY TO BOTH SIDES UNLESS OTHERWISE NOTED.

ELECTRICAL LEGEND					
\$	SWITCH	☐	UTILITY LIGHT	⊖	RANGE/DRYER OUTLET
\$₃	THREE WAY SWITCH	☐	4 FT LIGHT	⊖ <sup>DW</sup>	DISHWASHER OUTLET
\$ <sub>dim</sub>	DIMMER SWITCH	⊖	EXT. WALL MOUNTED LIGHT	⊖	REFRIGERATOR OUTLET
\$ <sub>occ</sub>	OCCUPANCY SEN SOR	◇	INT. WALL SCONCE	⊖ <sup>W</sup>	WASHER OUTLET
●	CO/SMOKE DETECTOR	⊖	EXHAUST FAN	⊖ <sup>GFI</sup>	GFI OUTLET
⊖	RECESSED LIGHT	⊖	CEILING FAN	⊖	SINGLE DUPLEX OUTLET
⊖	FLUSH MOUNTED LIGHT			⊖	THERMOSTAT



**EX-A - GENERAL NOTES**

**UNIT DIMENSIONS**  
EX-A MEASURES EXTERNALLY AT AN APPROXIMATE FOOTPRINT OF 1440 SF.

**FINISH**  
NEW WHITE VINYL BOARD AND BATTEN SIDING INSTALLED. ROOF REPLACED WITH ARCHITECTURAL SHINGLES.

**AMENITIES**  
EX-A IS EQUIPPED WITH TWO ROOMS, ONE OF WHICH IS ADA COMPLIANT.

**USAGE**  
THIS STRUCTURE IS DESIGNED FOR BOTH SHORT-TERM AND LONG-TERM OCCUPANCY.

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**TYPE EX-A**  
**EXISTING**  
**ADA & SINGLE UNIT**



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**EX-A**  
**ELEVATIONS**

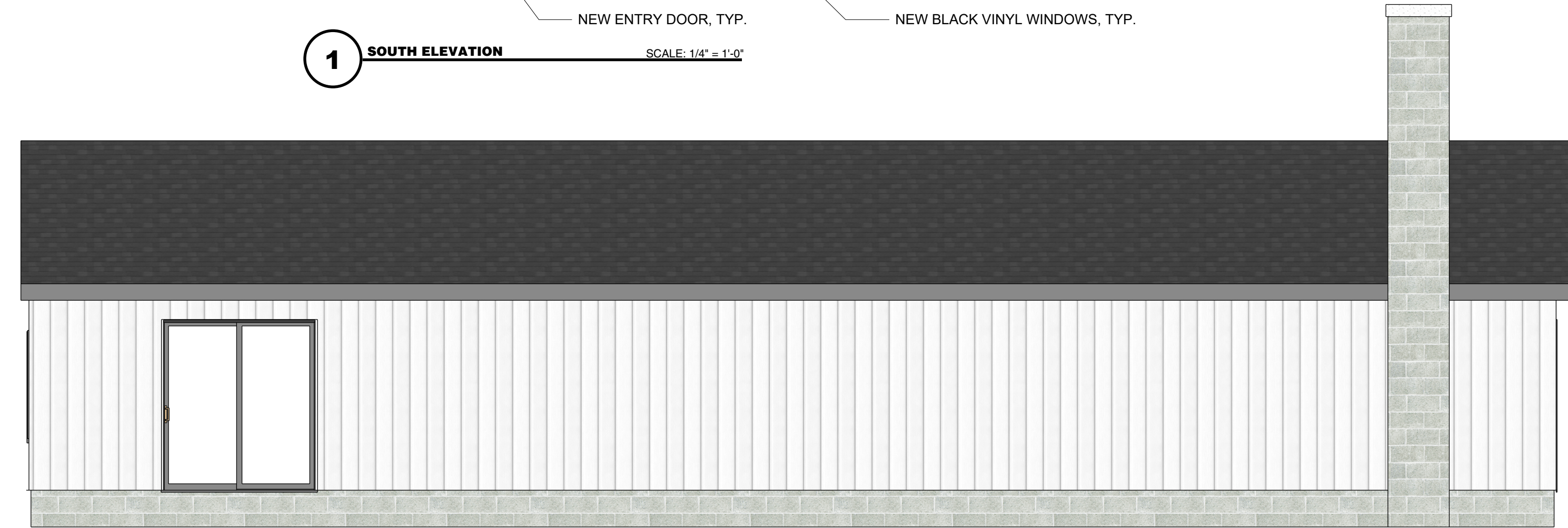
**A.23**



**1 SOUTH ELEVATION** SCALE: 1/4" = 1'-0"

NEW ENTRY DOOR, TYP.

NEW BLACK VINYL WINDOWS, TYP.



**1 NORTH ELEVATION** SCALE: 1/4" = 1'-0"



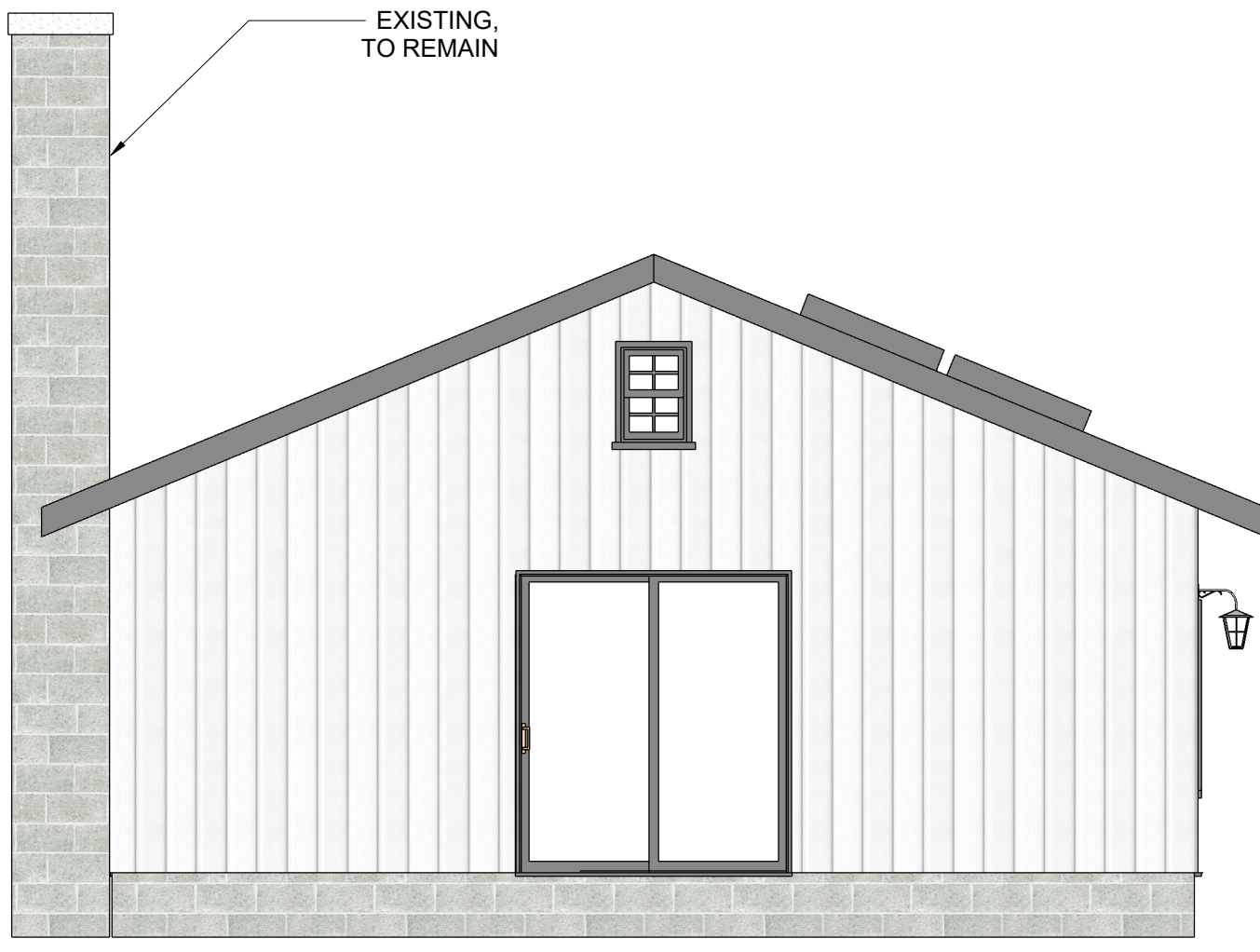
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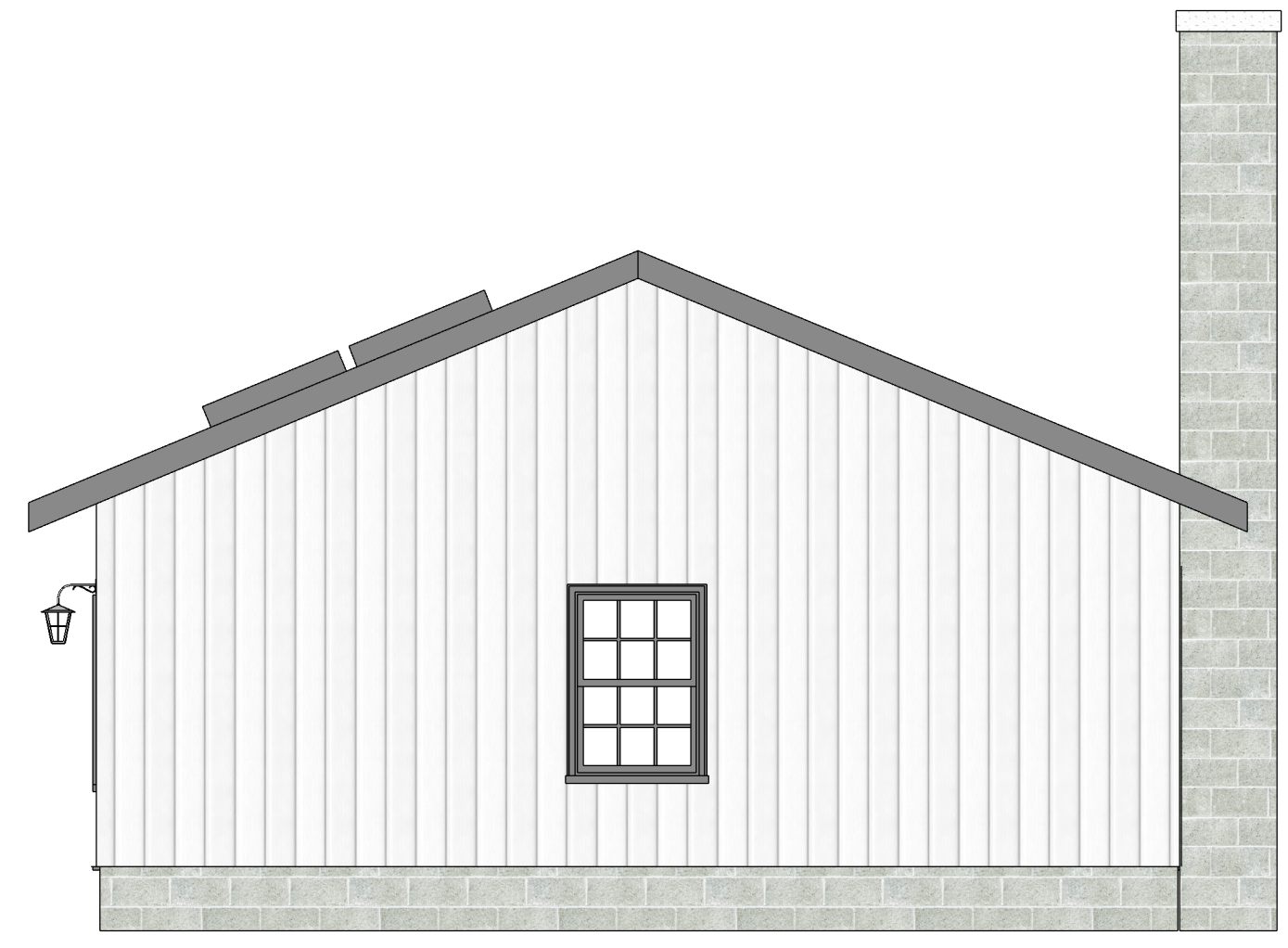
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**EX-A  
ELEVATIONS**



**1 WEST ELEVATION** SCALE: 1/4" = 1'-0"



**1 EAST ELEVATION** SCALE: 1/4" = 1'-0"





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**TYPE EX-B**  
**EXISTING 4 UNIT**

**EX-B - GENERAL NOTES**

**UNIT DIMENSIONS**

EX-B MEASURES EXTERNALLY AT AN APPROXIMATE FOOTPRINT OF 906 SF.

**FINISH**

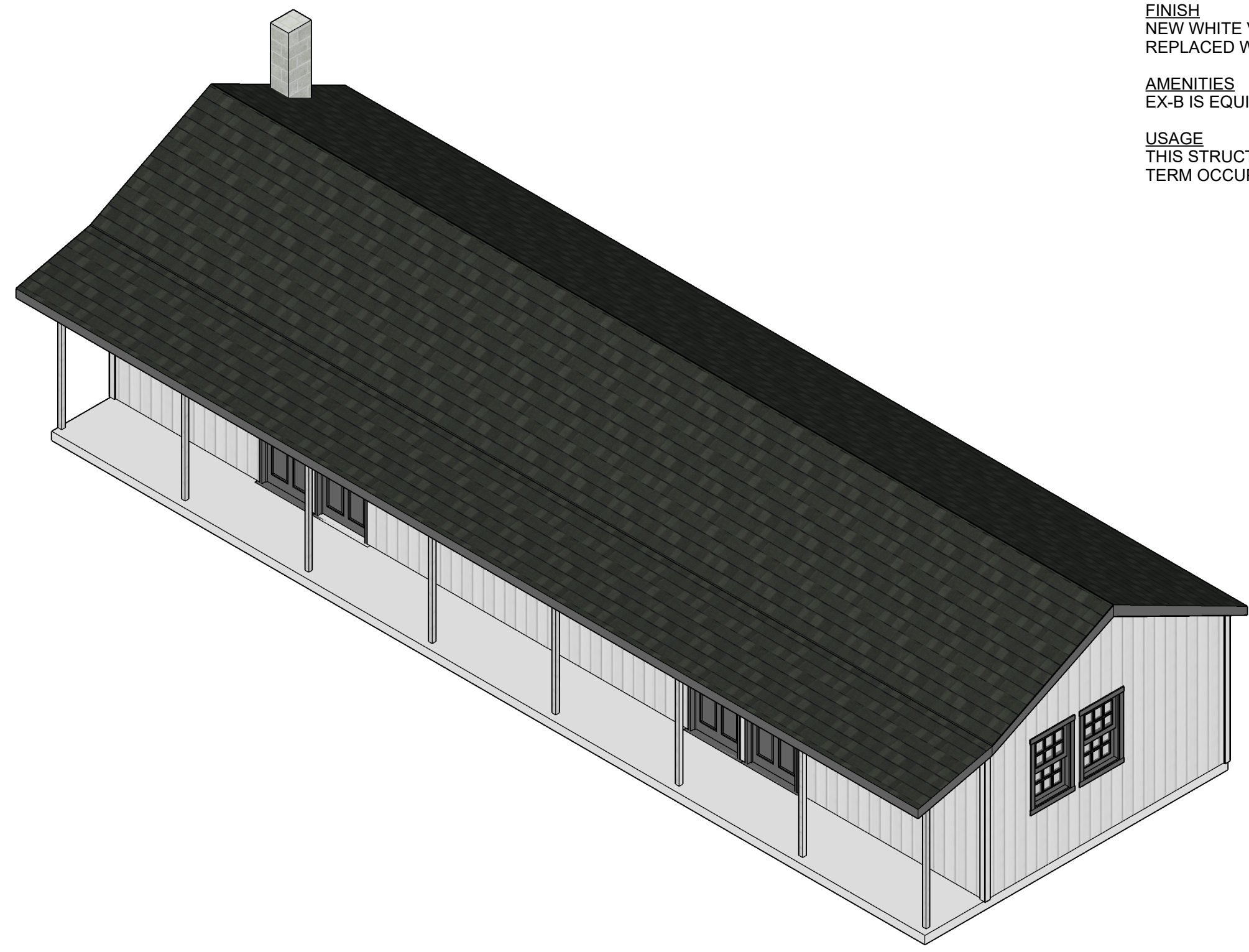
NEW WHITE VINYL BOARD AND BATTEN SIDING INSTALLED. ROOF REPLACED WITH NEW ARCHITECTURAL SHINGLES

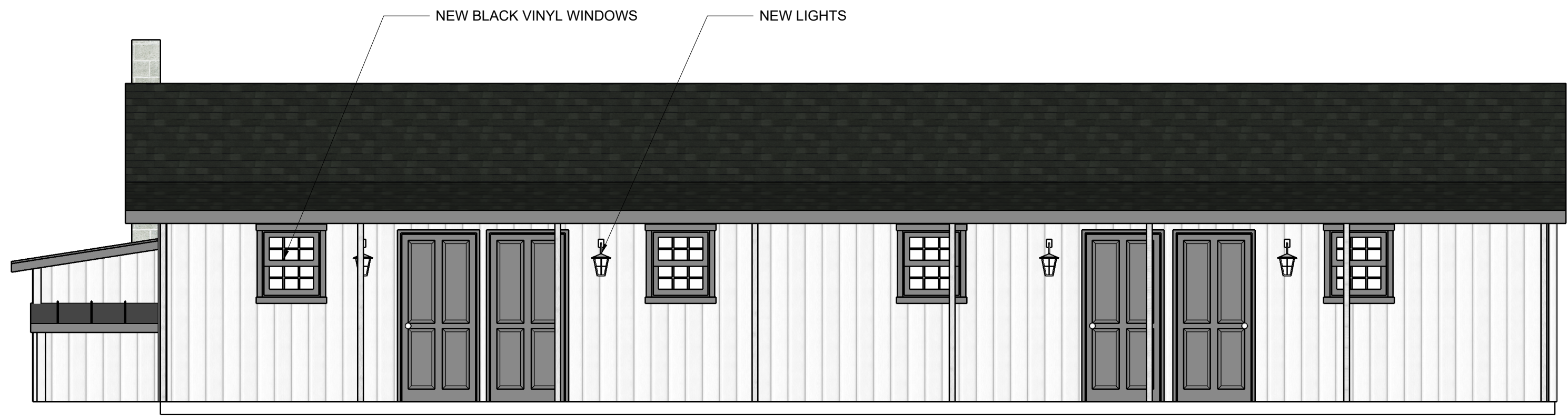
**AMENITIES**

EX-B IS EQUIPPED WITH FOUR ROOMS.

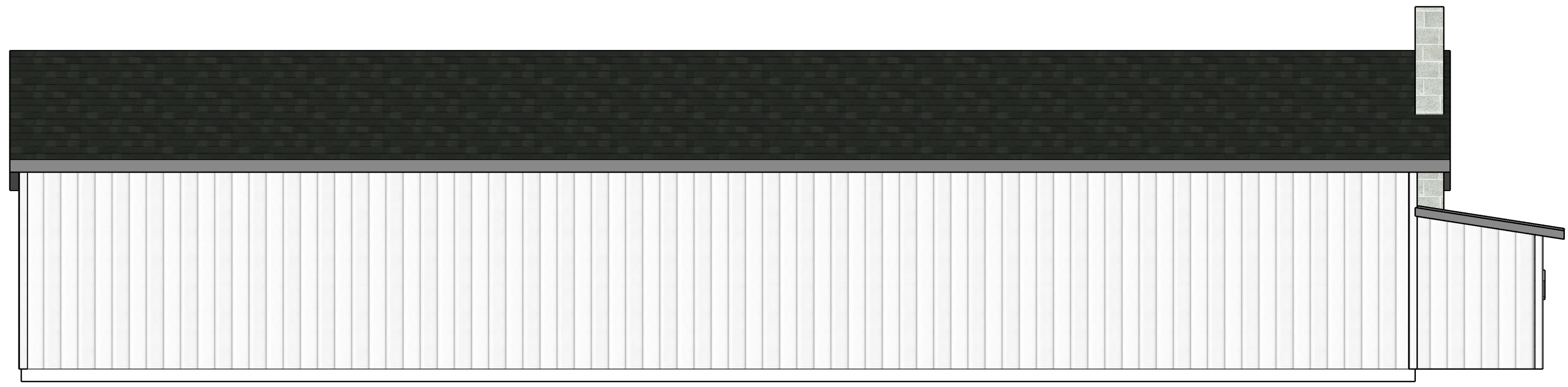
**USAGE**

THIS STRUCTURE IS DESIGNED FOR BOTH SHORT-TERM AND LONG-TERM OCCUPANCY.





**1** SOUTH ELEVATION SCALE: 1/4" = 1'-0"



**2** NORTH ELEVATION SCALE: 1/4" = 1'-0"

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EX-B  
ELEVATIONS



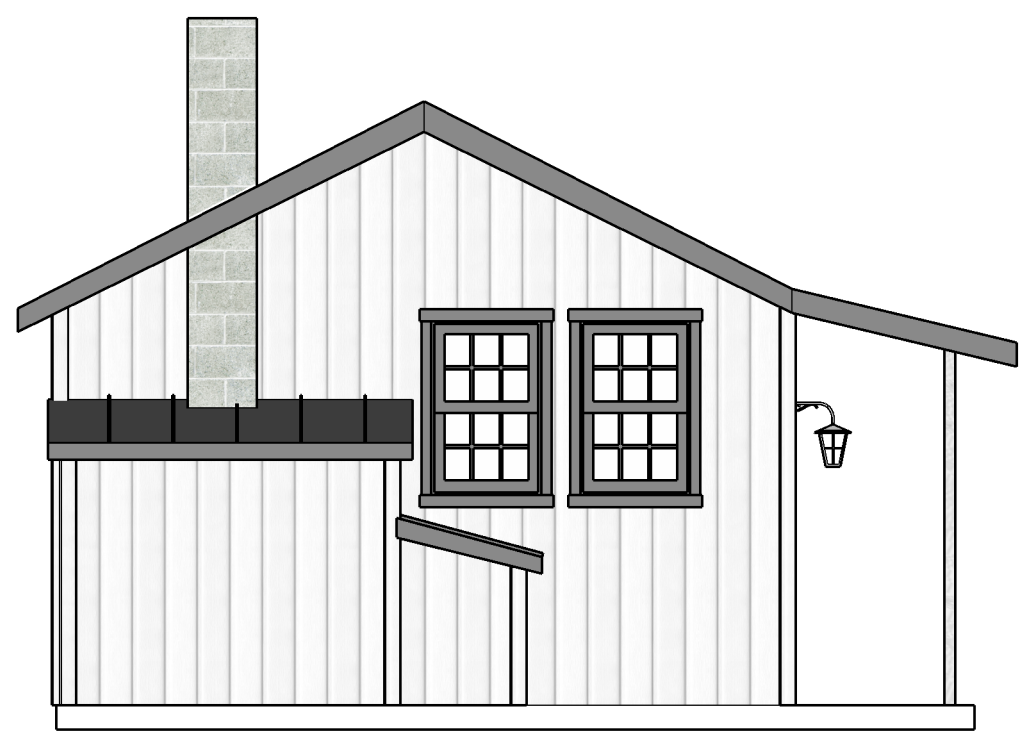
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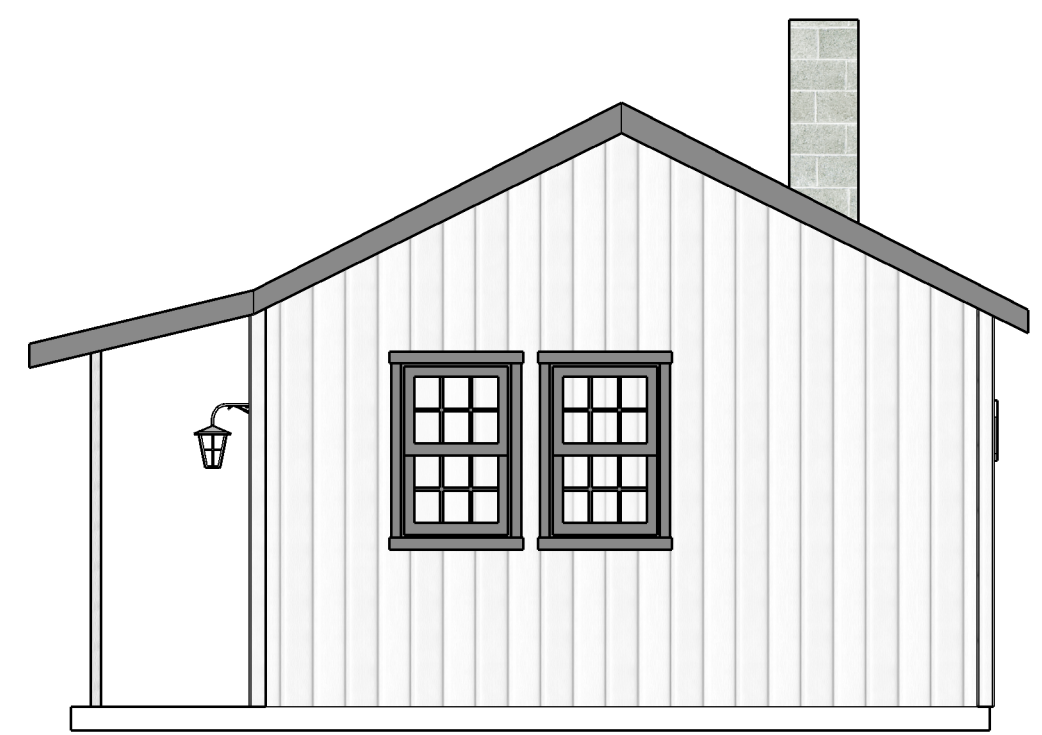
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**EX-B  
ELEVATIONS**



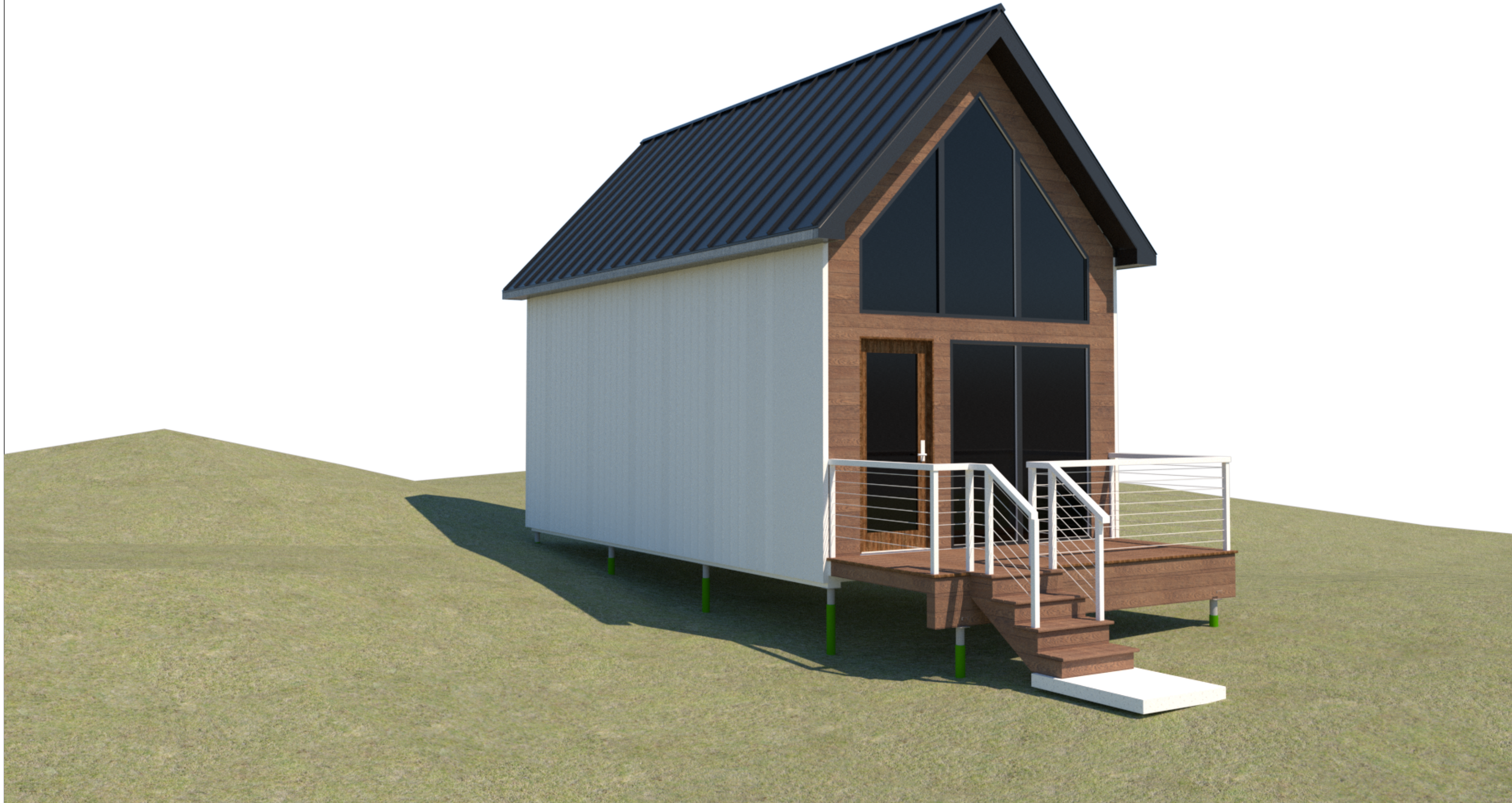
**1 WEST ELEVATION** SCALE: 1/4" = 1'-0"



**2 EAST ELEVATION** SCALE: 1/4" = 1'-0"

**RENDERING GENERAL NOTES**

1. ALL NEW UNIT TYPES, AS ILLUSTRATED IN THE RENDERING, SHALL MAINTAIN A CONSISTENT AESTHETIC IN TERMS OF FINISH MATERIALS, DESIGN LANGUAGE, AND OVERALL AMBIENCE.
2. VARIATIONS OR MODIFICATIONS FROM THE PRESENTED RENDERINGS SHALL MAINTAIN THE INTENDED DESIGN INTEGRITY AND COHESIVENESS OF THE PROPOSED STRUCTURES.
3. ANY DEVIATIONS FROM THE ILLUSTRATED FINISHES AND DESIGN ELEMENTS REQUIRE PRIOR APPROVAL TO ENSURE ALIGNMENT WITH THE OVERARCHING DESIGN VISION.



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**SGL RENDER**